

01 APPLICATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
DRB - Site Plan approval request for multi-family apartment home community.			

APPLICATION INFORMATION			
Applicant: City of Albuquerque		Phone:	
Address: PO Box 2248		Email:	
City: Albuquerque	State: NM	Zip: 87103	
Professional/Agent (if any): Will Gleason, Dekker/Perich/Sabatini		Phone: 505-761-9700	
Address: 7601 Jefferson St NE Suite 100		Email: WillG@dpsdesign.org	
City: Albuquerque	State: NM	Zip: 87109	
Proprietary Interest in Site:	List <u>all</u> owners:		
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:	MAP 33 TR 90C, 001 001REPL OF FITZGERALD ADD, ALL OF LOT 2 BLK 1 REPLAT OF FITZGERALD ADDN	Block:	Unit: 101406032807540418, 101406034308740419,
Subdivision/Addition:	CONT .3582 AC, 003 001REPL OF FITZGERALD ADD	MRGCD Map No.:	101406033008940420, 101406032209040422 UPC Code:
Zone Atlas Page(s): G14	Existing Zoning: MX-M	Proposed Zoning	
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres): 2.103	
LOCATION OF PROPERTY BY STREETS 3525 4th St NW, 420 Fitzgerald Rd NW			
Site Address/Street: See above		Between: Mildred Ave NW	and: Fitzgerald Rd NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2020-003847			

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date: 11/12/2021	
Printed Name: Will Gleason		<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY			
Case Numbers	Action	Fees	Case Numbers
Meeting Date:		Fee Total:	
Staff Signature:	Date:	Project #	

02 FORM P2

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

- ___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____
- 01 PDF of application as described above
- 03 Zone Atlas map with the entire site clearly outlined and labeled
- 04 Letter of authorization from the property owner if application is submitted by an agent
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- 05 Signed Traffic Impact Study (TIS) Form
- 06 Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
- 07 Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)
- ___ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- 08 Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- 09 Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
 - 9.1 Office of Neighborhood Coordination neighborhood meeting inquiry response
 - 9.2 Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - 9.3 Completed neighborhood meeting request form(s)
 - 9.4 If a meeting was requested or held, copy of sign-in sheet and meeting notes
- 10 Sign Posting Agreement
- 11 Required notices with content per IDO Section 14-16-6-4(K)(1) *(not required for extension)*
 - 11.1 Office of Neighborhood Coordination notice inquiry response
 - 11.2 Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - 11.3 Proof of emailed notice to affected Neighborhood Association representatives
 - 11.4 Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- 12 Completed Site Plan Checklist
 - ___ Site Plan and related drawings
 - ___ Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)*
- 13 Site Plan and related drawings
- 14 Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- 15 Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- ___ Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2).(d.) if site is within a designated landfill buffer zone
- ___ Infrastructure List, if required

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i>	
Signature:	Date: 11/12/2021
Printed Name: Will Gleason	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

03 ZONE ATLAS MAP



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000
Feet

04 LETTER OF AUTHORIZATION

November 19, 2021

Ms. Jolene Wolfley
Chair, Environmental Planning Commission
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

**Re: Letter of Authorization
Request for Site Plan - DRB
35325 4th Street NW, 420 Fitzgerald Rd. NW
Albuquerque, NM 87107**

Dear Ms. Wolfley,

I, Thaddeus Lucero, on behalf of Yes Housing Inc., owner of the parcel located at 35325 4th Street NW and 420 Fitzgerald Rd. NW authorize Will Gleason of Dekker/Perich/Sabatini to act as an agent in matters relating to the submission of a Site Plan – DRB.

Sincerely,



Thaddeus Lucero

05 TIS FORM

06 DRWS FORM

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: CALLE CUARTA

AGIS MAP # G-14

LEGAL DESCRIPTIONS: LOT 1-3, BLOCK 1, FITZGERALD ADD'N
& TR(S) 90-B-2 & 90-C
M.R.G.C.D. MAP No. 33

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 10-25-21 (date).

Fred C.uffman
Applicant/Agent

11.18.21
Date

Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on _____ (date). STATEMENT # 210845 ISSUED ON 11.11.21.

Fred C.uffman
Applicant/Agent

11.18.21
Date

Chris Gustafson
ABCWUA Representative

11/18/2021
Date

PROJECT # _____

07 JUSTIFICATION LETTER

November 17, 2021

Jolene Wolfley
Development Review Board Chair
Plaza Del Sol
600 2nd St NW
Albuquerque, NM 87102



**Re: Calle Cuarta Multi-Family/Mixed Use Development
3525 4th St NW, 420 Fitzgerald Rd NW
Site Plan - DRB Application**

Dear Ms. Wolfley,

The City of Albuquerque, owner of the subject properties, along with YES Housing, are seeking approval for a Site Plan - DRB in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use development located at 3525 4th St NW and 420 Fitzgerald Rd NW.

The subject properties are currently undeveloped and vacant and are zoned Mixed-Use Moderate Intensity (MX-M). This multi-family housing includes 61 total units that include a mix of studio, 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the main building that fronts 4th St will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

Calle Cuarta will infill a currently vacant 2.1-acre collection of parcels in the heart of the North Fourth Street Corridor. The ABC Comprehensive Plan (Comp Plan) designates this area as a Main Street Corridor to encourage a walkable pedestrian environment; according to the ABC Comp Plan, "Main Streets are intended to be lively, highly walkable streets lined with local-serving businesses, modeled after the American tradition of a Main Street as a place for living, working, and shopping." Infilling this mixed-use project in vacant lots is an appropriate and encouraged development for a designated Main Street Corridor.

In addition, the subject properties are within the North Corridor Metropolitan Redevelopment Plan (MR Plan), prepared in 2020. This MR Plan identifies these properties (referred to as the "Brown Property") as a catalytic project that could be redeveloped into a community asset. Additionally, the MR Plan recognizes that there is a lack of new and affordable housing options with the North Corridor MR Plan boundary and recommends efforts be made to increase the supply of quality and reasonably priced housing stock in the area. Calle Cuarta would contribute to alleviating this issue by adding more attainable housing directly on the corridor.

The following section outlines how the proposed site plan complies with the Review and Decision Criteria for a Site Plan – DRB per Section 6-6(l)(3) of the IDO:

- 1. The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

The property is zoned MX-M and is located along a designated Main Street Corridor in an Area of Change. This development conforms to all IDO standards including setbacks, allowable buildings heights and coverage, signage, and landscaping. In addition, the property complies with all applicable provisions of the DPM and other adopted City regulations. There do not appear to be any conditions specifically applied to development of this property in any prior permits or approvals. Compliance with key provisions is outlined below, including IDO Section 5-11(E) Mixed-Use and Non-Residential Zone Districts (subject properties are in UC-MS-PT areas).

Ground Floor Clear Height: Ground floor clear height is in compliance with IDO requirements at 10 feet.

Façade Design, 5-11(E)(2)(b) Urban Centers, Activity Centers, and Main Street and Premium Transit Areas: Windows on the upper floors are recessed not less than 2 inches. Each ground floor of a street-facing façade contains a minimum of 30 percent of its surfaces in transparent windows and/or doors. Commercial uses on ground floor have interior space that is visible to a depth of 6 feet from the façade. Each street-facing façade incorporates at least 3 features including windows on upper floors, primary pedestrian entrances, and metal sunshades, distributed along the façade so that at least 1 of the incorporated features occurs every 30 feet of façade length. Each street-facing façade longer than 50 feet incorporates a wall plane projection of 2 foot in depth occurring at least every 50 feet of façade length and extending 25 percent of the length of the façade. In addition, there is a mural along the street-facing façade along the south side of a wall plane projection. This mural can be viewed if one is standing to the southeast of the multi-use building and provides additional visual interest. All accessory buildings visible from a public street are similar in color, material distinctive rooflines, finishing details, and accent features to the primary building to ensure a cohesive development identity. Through compliance of all of the façade design standards listed above, the proposed development ensures walkable, pedestrian-friendly design along the corridor as called for in the Comp Plan.

Outdoor Seating and Gathering Areas: The primary building contains 23,668 square feet of gross floor area on the ground floor. Even though this is below the minimum square footage that requires an outdoor seating, a seating and gathering area is provided on the southeast of the multi-use building. This seating and gathering area is at least 400 square feet in size and is visible from 4th St. At least 25% of this required seating and gathering area is shaded from the sun and will have pedestrian-scale lighting, street

furniture or seating areas, and trash receptacles. The proposed seating area is a usable open space amenity for the development that will provide further activation along 4th street.

Building Setbacks and Heights: The front building setback from 4th St is compliant at a maximum of 15 feet. Side and rear setbacks are compliant with Table 2-4-5: MX-M Zone District Dimensional Standards Summary for UC-MS-PT areas. Building height is compliant at 40 ft for mixed-use buildings and 25 ft for live/work units, which is under the building height maximum allowed for MX-M in the CPO-9 (55 feet). According to the 7-1: Definitions, a Front Façade is “The street-facing façade that is parallel to and closest to the front lot line and that typically contains the front door or primary pedestrian entrance.” Fourth St is considered the front lot line and contains primary pedestrian entrances. The third floor, i.e. the portion of the building over 30 feet tall incorporates, therefore incorporates a minimum stepback of 6 feet from the front façade facing 4th St to visually reduce the mass of the building along the Main Street corridor.

Open Space Requirements: Minimum usable open space is compliant with Table 2-4-5: MX-M Zone District Dimensional Standards Summary, using the 50% reduction for UC-MS-PT.

Parking Lot Landscaping: Parking lot landscaping is compliant with all provisions in the IDO.

Other Landscaping: Other landscaping, including street frontage landscaping and edge buffer landscaping, is compliant with all provisions in the IDO.

Screening: Screening is compliant with all provisions in the IDO.

Sidewalks: Sidewalks along 4th St and Fitzgerald Rd will be widened from their existing width to accommodate an active pedestrian environment with the additional of pedestrian entrances and storefronts along 4th St.

Parking: Required parking meets the IDO requirements of Dwelling, live-work (1 space / DU), Dwelling, multi-family (1 space / DU), and retail space (2.5 spaces / 100 SF) for UC-MS-PT areas.

2. ***The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.***

The subject property is an infill site within an established commercial corridor, surrounded by existing street and drainage systems. A pedestrian and bike path will be constructed on the southern edge of the subject property to connect through to Fairfield PI NW and Garfield Middle School. The existing infrastructure systems have

adequate capacity to serve the proposed development and no improvements are needed to accommodate this development.

- 3. If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.***

The subject property is not within an approved Master Development Plan area.

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed site plan prior to this submittal. The project team held several informal meetings with the nearby Neighborhood Associations prior to offering an official Pre-Submittal Neighborhood Meeting with a facilitator. A Pre-Submittal Neighborhood Meeting was requested by the North Valley Coalition, the Near North Valley Neighborhood Association, and the nearby Greater Gardner-Monkbridge Neighborhood Association. Although it was not required to offer a neighborhood meeting to Greater Gardner-Monkbridge Neighborhood Association according to the contact list provided by the ONC, they wished to be included in the neighborhood meeting and were therefore also included in the Public Notice emails to neighborhood association representatives. This meeting was held on Wednesday, November 17 at 6:00PM. The neighborhood associations were in support of the project and had some questions and comments about the design of the buildings. Notes from the meeting facilitator are provided with this application.

Based upon the rationale presented in this letter, we respectfully request approval of the proposed Site Plan to facilitate the development of Calle Cuarta. Upon completion, this project will add needed quality, mixed-income housing and small commercial spaces to this corridor and contribute to the overall redevelopment and revitalization of the North Fourth Corridor. If you have any questions or need clarification of anything contained herein, please contact me at (505)761-9700 or WillG@dpsdesign.org.

Sincerely,



Will Gleason, AICP, LEED AP
Agent for YES Housing

08 PROOF OF PRE-APPLICATION MEETING

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-212 Date: 11/17/20 Time: N/A (sent via email to jessical@dpsdesign.org)

Address: 3525 4th St NW

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Marcelo Ibarra (marceloibarra@cabq.gov)

Fire Marshal: Bob Nevárez (rnevarez@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Nilo Salgado (nsalgado-fernandez@cabq.gov)

Hydrology: Ernest Armijo, P.E., (earmijo@cabq.gov)

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

Additional research may be necessary to determine the exact type of application and/or process needed.

Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Mixed use development featuring a mixed use building with ground-floor retail along 4th Street and a mixture of live/work, patio home and townhouses behind.

SITE INFORMATION:

Zone: MX-M

Size: 3 acres

Use: Commercial Services

Overlay zone: (CPO) - Character Protection Overlay Zone (3-4)-North 4th Corridor – CPO-9

Comp Plan Area of: Change

Comp Plan Corridor: (MS) Main Street Corridors 660ft -4th St

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-2: Mixed-use Zone District Dimensional Standards

*Neighborhood Organization/s: North Valley Coalition, Near North Valley NA

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: *See comments below

Review and Approval Body: * Is this a PRT requirement? See Table 6-1-1

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-212 Date: 11/17/20 Time: N/A (sent via email)

Address: 3525 4th St NW

NOTES:

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

Vehicular access from Fitzgerald

Vehicular access from 7th street and Northfield Ct.

Parallel parking along 4th street and Fitzgerald

Private internal road (north of townhouses) and maybe maximum road width of 22'

This lot is a multi-address. **3525 4th St NW** is part of the highlighted lot below. Please let me know if you have any questions.



See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- [Neighborhood Meeting](#) or <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-212 Date: 11/17/20 Time: N/A (sent via email)

Address: 3525 4th St NW

- [Public Notice](#) or <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

Zoning Comments

MX-M

SU-2

Question 1,2,3,4 – transportation

Small and Medium retail – Permissive

Large retail – Conditional

Live-work- Permissive

Patio home not define in IDO- must meet a n IDO definition

Townhouse - Permissive

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-212 Date: 11/17/20 Time: N/A (sent via email)

Address: 3525 4th St NW

Transportation Development comments

For additional information contact Nilo Salgado (924-3630) or Jeanne Wolfenbarger (924-3991)

***Since there is an existing case (PR-2020-003847), please contact Jeanne Wolfenbarger for any input/comment/discussion.**

**General comments below:

Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- **Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)**

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-212 Date: 11/17/20 Time: N/A (sent via email)

Address: 3525 4th St NW

- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies

1. See the **Traffic Impact Study (TIS) thresholds**. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

Platting and Public Infrastructure Requirements for Roadways

1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
5. Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
6. **For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.**
7. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
8. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

Jeanne Wolfenbarger's Additional Comments

0. No access is allowed off of a cul-de-sac. These are designed to carry limited traffic only.
1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-212 Date: 11/17/20 Time: N/A (sent via email)

Address: 3525 4th St NW

0. Follow 4th Street corridor study for 4th Street corridor cross-section requirements. If on-street parking were proposed, more right-of-way would need to be dedicated.
1. Any on-street parking should be set back a minimum of 50 – 75 feet from 4th Street along Fitzgerald. Fitzgerald has room to accommodate on-street parking at the widened portion as it approaches 4th Street.
2. A waiver request shall be submitted through DRB to request the reduced 22-foot width and to allow 5-foot sidewalk on one side of the road for the proposed access easement that will run through the site.
3. Obtain Fire Marshall approval and Solid Waste Approval for the site . Knox box request shall be in place for any proposed gates. Maintain sufficient turnaround space on either side of the gate as shown on current proposed site plan.
4. Access points off of Fitzgerald and off of 7th Street as shown on site plan are acceptable.

If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at lrumpf@cabq.gov

09 PROOF OF NEIGHBORHOOD MEETING

1. ONC inquiry response
2. Proof of neighborhood meeting offer letter
3. Completed neighborhood meeting request forms
4. Copy of meeting notes

09 PROOF OF NEIGHBORHOOD MEETING

1. ONC inquiry response

From: [Carmona, Dalaina L.](#)
To: [Kate Maliskas](#)
Subject: 3525 4TH ST NW ALBUQUERQUE NM 87107, 420 FITZGERALD RD NW Neighborhood Meeting Inquiry
Date: Monday, October 4, 2021 1:37:39 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDOZoneAtlasPage_G-14-Z.PDF](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Near North Valley NA	Joe	Sabatini	jsabatini423@gmail.com	3514 6th Street NW	Albuquerque	NM	87107	5058507455	5053449212
Near North Valley NA	Heather	Norfleet	nearnorthvalleyna@gmail.com	PO Box 6953	Albuquerque	NM	87197		5056204368
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, October 04, 2021 8:10 AM
To: Office of Neighborhood Coordination <katem@dpsdesign.org>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Kate Maliskas

Telephone Number

5057619700

Email Address

katem@dpsdesign.org

Company Name

Dekker/Perich/Sabatini

Company Address

7601 Jefferson St NE Suite 100

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

MAP 33 TR 90C, * 001 001REPL OF FITZGERALD ADD, ALL OF LOT 2 BLK 1 REPLAT OF FITZGERALD ADDN CONT .3582 AC, *
003 001REPL OF FITZGERALD ADD

Physical address of subject site:

3525 4TH ST NW ALBUQUERQUE NM 87107, 4TH ST ALBUQUERQUE NM 87107, 420 FITZGERALD RD NW ALBUQUERQUE
NM 87107, FITZGERALD RD NW ALBUQUERQUE NM 87107

Subject site cross streets:

4th St NW and Fitzgerald Rd NW

Other subject site identifiers:

Site consists of four parcels, please see attached zone atlas page.

This site is located on the following zone atlas page:

G-14-Z

09 PROOF OF NEIGHBORHOOD MEETING

2. Proof of neighborhood meeting offer letter

From: [Kate Maliskas](#)
To: jsabatini423@gmail.com
Cc: [Will Gleason](#)
Subject: Neighborhood Association Meeting Offer Letter - 3525 4th St NW
Date: Tuesday, October 19, 2021 4:43:00 PM
Attachments: [Near_North_Valley_NA_NeighborhoodMeetingRequest-Email-Form.pdf](#)
[Calle Cuarta Elevations.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[image001.png](#)

October 19, 2021

Near North Valley NA

Joe Sabatini

3514 6th St NW

Albuquerque, NM 87107

RE: Request for Site Plan - DRB Approval

3525 4th St NW, 420 Fitzgerald Rd NW, Albuquerque NM 87107

Dear Neighborhood Association Representative,

This letter is to inform you that Dekker/Perich/Sabatini, agent for the property owner City of Albuquerque, is seeking approval for a Site Plan – DRB for the subject properties located at 3525 4th St NW and 420 Fitzgerald Rd NW to build multi-family housing.

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the application.

The subject site is currently undeveloped and vacant and is zoned Mixed-Use Moderate Intensity (MX-M). This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units that provide commercial spaces along 4th St. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

Per the IDO, you have 15 days from the date this letter is sent, October 19, 2021, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting. If you would like to request a neighborhood meeting, please contact Will Gleason within the required 15-day period of this mailing date (by November 3, 2021) at (505)761-9700 or by email at willg@dpsdesign.org.

Before submitting our application to the Development Review Board, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Hearing date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Will Gleason, Dekker/Perich/Sabatini
Agent for the City of Albuquerque

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: newmexmba@aol.com
Cc: [Will Gleason](#)
Subject: Neighborhood Association Meeting Offer Letter - 3525 4th St NW
Date: Tuesday, October 19, 2021 4:43:00 PM
Attachments: [North_Valley_Coalition_NeighborhoodMeetingRequest-Email-Form.pdf](#)
[Calle Cuarta Elevations.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[image002.png](#)

October 19, 2021

North Valley Coalition
Doyle Kimbrough
2327 Campbell Road NW
Albuquerque, NM 87104

RE: Request for Site Plan - DRB Approval
3525 4th St NW, 420 Fitzgerald Rd NW, Albuquerque NM 87107

Dear Neighborhood Association Representative,

This letter is to inform you that Dekker/Perich/Sabatini, agent for the property owner City of Albuquerque, is seeking approval for a Site Plan – DRB for the subject properties located at 3525 4th St NW and 420 Fitzgerald Rd NW to build multi-family housing.

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the application.

The subject site is currently undeveloped and vacant and is zoned Mixed-Use Moderate Intensity (MX-M). This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units that provide commercial spaces along 4th St. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Before submitting our application to the Development Review Board, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Hearing date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Will Gleason, Dekker/Perich/Sabatini
Agent for the City of Albuquerque

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: nearnorthvalleyna@gmail.com
Cc: [Will Gleason](#)
Subject: Neighborhood Association Meeting Offer Letter - 3525 4th St NW
Date: Tuesday, October 19, 2021 4:43:00 PM
Attachments: [IDOZoneAtlasPage_G-14-Z.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[Calle Cuarta Elevations.pdf](#)
[Near_North_Valley_NA_NeighborhoodMeetingRequest-Email-Form.pdf](#)
[image001.png](#)

October 19, 2021

Near North Valley NA
Heather Norfleet
PO Box 6953
Albuquerque, NM 87197

RE: Request for Site Plan - DRB Approval
3525 4th St NW, 420 Fitzgerald Rd NW, Albuquerque NM 87107

Dear Neighborhood Association Representative,

This letter is to inform you that Dekker/Perich/Sabatini, agent for the property owner City of Albuquerque, is seeking approval for a Site Plan – DRB for the subject properties located at 3525 4th St NW and 420 Fitzgerald Rd NW to build multi-family housing.

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the application.

The subject site is currently undeveloped and vacant and is zoned Mixed-Use Moderate Intensity (MX-M). This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units that provide commercial spaces along 4th St. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Before submitting our application to the Development Review Board, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Hearing date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Will Gleason, Dekker/Perich/Sabatini
Agent for the City of Albuquerque

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: peggynorton@yahoo.com
Cc: [Will Gleason](#)
Subject: Neighborhood Association Meeting Offer Letter - 3525 4th St NW
Date: Tuesday, October 19, 2021 4:42:00 PM
Attachments: [20-0276 CALLE CUARTA - SITE.pdf](#)
[Calle Cuarta Elevations.pdf](#)
[North Valley Coalition NeighborhoodMeetingRequest-Email-Form.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[image001.png](#)

October 19, 2021

North Valley Coalition
Peggy Norton
PO Box 70232
Albuquerque, NM 87197

RE: Request for Site Plan - DRB Approval
3525 4th St NW, 420 Fitzgerald Rd NW, Albuquerque NM 87107

Dear Neighborhood Association Representative,

This letter is to inform you that Dekker/Perich/Sabatini, agent for the property owner City of Albuquerque, is seeking approval for a Site Plan – DRB for the subject properties located at 3525 4th St NW and 420 Fitzgerald Rd NW to build multi-family housing.

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the application.

The subject site is currently undeveloped and vacant and is zoned Mixed-Use Moderate Intensity (MX-M). This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units that provide commercial spaces along 4th St. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Before submitting our application to the Development Review Board, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Hearing date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Will Gleason, Dekker/Perich/Sabatini
Agent for the City of Albuquerque

Attachments: Zone Atlas Page, Preliminary Site Plan, Preliminary Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

09 PROOF OF NEIGHBORHOOD MEETING

3. Completed neighborhood meeting request forms

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: October 19, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Near North Valley NA

Name of NA Representative*: Joe Sabatini, Heather Norfleet

Email Address* or Mailing Address* of NA Representative¹: jsabatini423@gmail.com, nearnorthvalleyna@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: WillG@dpsdesign.org

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW, 420 Fitzgerald Rd NW
Location Description Southwest corner of 4th St and Fitzgerald Rd
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Seeking approval for Site Plan - DRB for multi-family housing with associated amenities

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:
Email AnthonyS@dpsdesign.org

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} G-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)
 Explanation:
None requested at this time
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 2.103
 - b. IDO Zone District MX-M
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] _____
2. Current Land Use(s) [vacant, if none] Vacant
- _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Near North Valley NA _____ [Other Neighborhood Associations, if any]

North Valley Coalition

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: October 19, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Doyle Kimbrough, Peggy Norton

Email Address* or Mailing Address* of NA Representative¹: newmexmba@aol.com, peggynorton@yahoo.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: WillG@dpsdesign.org,

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW, 420 Fitzgerald Rd NW
Location Description Southwest corner of 4th St and Fitzgerald Rd
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

Seeking approval of Site Plan - DRB for multi-family housing with associated amenities

5. This type of application will be decided by^{*}: City Staff
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{*4}:
Email AnthonyS@dpsdesign.org

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} G-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)
 Explanation:
None requested at this time
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 2.103
 - b. IDO Zone District MX-M
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] _____
2. Current Land Use(s) [vacant, if none] Vacant
- _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Near North Valley NA, North Valley Coalition [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

09 PROOF OF NEIGHBORHOOD MEETING

4. Copy of meeting notes

10 SIGN POSTING AGREEMENT

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

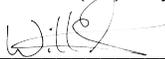
4. TIME

Signs must be posted from November 30, 2021 To December 30, 2021

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 Will Gleason 11/16/2021
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

11 REQUIRED NOTICES

1. ONC notice inquiry Response
2. Copy of notification letters and forms to NAs
3. Proof of emailed notice to NAs
4. Buffer map, list of property owners, copy of notification letters and proof of first-class mailing to property owners

11 REQUIRED NOTICES

1. ONC Notice inquiry response

From: [Carmona, Dalaina L.](#)
To: [Kate Maliskas](#)
Subject: 3525 4TH ST NW ALBUQUERQUE NM 87107, 420 FITZGERALD RD NW Neighborhood Meeting Inquiry
Date: Monday, October 4, 2021 1:37:39 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDOZoneAtlasPage_G-14-Z.PDF](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Near North Valley NA	Joe	Sabatini	jsabatini423@gmail.com	3514 6th Street NW	Albuquerque	NM	87107	5058507455	5053449212
Near North Valley NA	Heather	Norfleet	nearnorthvalleyna@gmail.com	PO Box 6953	Albuquerque	NM	87197		5056204368
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, October 04, 2021 8:10 AM
To: Office of Neighborhood Coordination <katem@dpsdesign.org>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Kate Maliskas

Telephone Number

5057619700

Email Address

katem@dpsdesign.org

Company Name

Dekker/Perich/Sabatini

Company Address

7601 Jefferson St NE Suite 100

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

MAP 33 TR 90C, * 001 001REPL OF FITZGERALD ADD, ALL OF LOT 2 BLK 1 REPLAT OF FITZGERALD ADDN CONT .3582 AC, *
003 001REPL OF FITZGERALD ADD

Physical address of subject site:

3525 4TH ST NW ALBUQUERQUE NM 87107, 4TH ST ALBUQUERQUE NM 87107, 420 FITZGERALD RD NW ALBUQUERQUE
NM 87107, FITZGERALD RD NW ALBUQUERQUE NM 87107

Subject site cross streets:

4th St NW and Fitzgerald Rd NW

Other subject site identifiers:

Site consists of four parcels, please see attached zone atlas page.

This site is located on the following zone atlas page:

G-14-Z

11 REQUIRED NOTICES

2. Copy of notification letters and forms to NAs

November 19, 2021

Near North Valley NA
Joe Sabatini
3514 6th St NW
Albuquerque, NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

November 19, 2021

Near North Valley NA

Heather Norfleet

PO Box 6953

Albuquerque, NM 87197

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

November 19, 2021

North Valley Coalition
Doyle Kimbrough
2327 Campbell Rd NW
Albuquerque, NM 87104

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

November 19, 2021

North Valley Coalition
Peggy Norton
PO Box 70232
Albuquerque, NM 87197

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

November 19, 2021

Greater Gardner-Monkbridge Neighborhood Association

*Public Notice to Greater Gardner-Monkbridge NA was not required according to the contact list sent by ONC so full contact information is not known. Since Greater Gardner-Monkbridge was part of the Pre-Submittal Neighborhood Meeting, this letter is sent as a courtesy to NA representatives.

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Greater Gardner-Monkbridge NA

Name of NA Representative*: *Public Notice to Greater Gardner-Monkbridge NA was not required by contact list sent by ONC, so full contact information is not known.

Email Address* or Mailing Address* of NA Representative¹: ggnaabq@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* *[if applicable]* Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: December 15, 2021 at 9:00 am
via Zoom, link available at

Location*³: https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Contact Anthony Santi, Dekker/Perich/Sabatini, AnthonyS@dpsdesign.org for more information

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ G-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation*:
No exceptions requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
A Pre-submittal Neighborhood Meeting took place on November 17 with a facilitator.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Near North Valley NA [Other Neighborhood Associations, if any]
North Valley Coalition

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Near North Valley NA

Name of NA Representative*: Heather Norfleet

Email Address* or Mailing Address* of NA Representative¹: nearnorthvalleyna@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* *[if applicable]* Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: December 15, 2021 at 9:00 am
via Zoom, link available at

Location*³: https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Contact Anthony Santi, Dekker/Perich/Sabatini, AnthonyS@dpsdesign.org for more information

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ G-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*:

No exceptions requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A Pre-submittal Neighborhood Meeting took place on November 17 with a facilitator.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
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NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Near North Valley NA

Name of NA Representative*: Joe Sabatini

Email Address* or Mailing Address* of NA Representative¹: jsabatini423@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* *[if applicable]* Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

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² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: December 15, 2021 at 9:00 am
via Zoom, link available at

Location*³: https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Contact Anthony Santi, Dekker/Perich/Sabatini, AnthonyS@dpsdesign.org for more information

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ G-14-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*:

No exceptions requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A Pre-submittal Neighborhood Meeting took place on November 17 with a facilitator.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

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 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 2.1 acres
 - 2. IDO Zone District MX-M
 - 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 - 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Doyle Kimbrough

Email Address* or Mailing Address* of NA Representative¹: newmexmba@aol.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: December 15, 2021 at 9:00 am
via Zoom, link available at _____

Location*³: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Contact Anthony Santi, Dekker/Perich/Sabatini, AnthonyS@dpsdesign.org for more information

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ G-14-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*:
No exceptions requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
A Pre-submittal Neighborhood Meeting took place on November 17 with a facilitator.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 2.1 acres
 - 2. IDO Zone District MX-M
 - 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 - 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Near North Valley NA [Other Neighborhood Associations, if any]

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Peggy Norton

Email Address* or Mailing Address* of NA Representative¹: peggynorton@yahoo.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* *[if applicable]* Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: December 15, 2021 at 9:00 am
via Zoom, link available at

Location*³: https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Contact Anthony Santi, Dekker/Perich/Sabatini, AnthonyS@dpsdesign.org for more information

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ G-14-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*:

No exceptions requested

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A Pre-submittal Neighborhood Meeting took place on November 17 with a facilitator.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Near North Valley NA [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

11 REQUIRED NOTICES

3. Proof of email notice to NAs representatives

From: [Kate Maliskas](#)
To: ggnaabq@gmail.com
Cc: [Anthony Santi](#)
Subject: Public Notice for Site Plan - DRB Application for Calle Cuarta
Date: Friday, November 19, 2021 10:46:00 AM
Attachments: [GreaterGardnerMonkbridge.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[Elevations_2021_11_18_Calle Cuarta Lender's Package-2.pdf](#)

November 19, 2021

Greater Gardner-Monkbridge Neighborhood Association

*Public Notice to Greater Gardner-Monkbridge NA was not required according to the contact list sent by ONC so full contact information is not known. Since Greater Gardner-Monkbridge was part of the Pre-Submittal Neighborhood Meeting, this letter is sent as a courtesy to NA representatives.

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at:

<https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: ["newmexmba@aol.com"](mailto:newmexmba@aol.com)
Cc: [Anthony Santi](#)
Subject: Public Notice for Site Plan - DRB Application for Calle Cuarta
Date: Friday, November 19, 2021 10:48:00 AM
Attachments: [NorthValleyCoalition_Kimbrough.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[Elevations_2021_11_18_Calle Cuarta Lender's Package-2.pdf](#)

November 19, 2021

North Valley Coalition
Doyle Kimbrough
2327 Campbell Rd NW
Albuquerque, NM 87104

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: [Joe Sabatini](#)
Cc: [Anthony Santi](#)
Subject: Public Notice for Site Plan - DRB Application for Calle Cuarta
Date: Friday, November 19, 2021 10:47:00 AM
Attachments: [NearNorthValley_Sabatini.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[Elevations_2021_11_18_Calle Cuarta Lender's Package-2.pdf](#)

November 19, 2021

Near North Valley NA
Joe Sabatini
3514 6th St NW
Albuquerque, NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: [Near North Valley Neighborhood Association](#)
Cc: [Anthony Santi](#)
Subject: Public Notice for Site Plan - DRB Application for Calle Cuarta
Date: Friday, November 19, 2021 10:49:00 AM
Attachments: [NearNorthValley_Norfleet.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[Elevations_2021_11_18_Calle Cuarta Lender's Package-2.pdf](#)

November 19, 2021

Near North Valley NA
Heather Norfleet
PO Box 6953
Albuquerque, NM 87197

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

From: [Kate Maliskas](#)
To: [Peggy Norton](#)
Cc: [Anthony Santi](#)
Subject: Public Notice for Site Plan - DRB Application for Calle Cuarta
Date: Friday, November 19, 2021 10:47:00 AM
Attachments: [NorthValleyCoalition_Norton.pdf](#)
[IDOZoneAtlasPage_G-14-Z.pdf](#)
[20-0276 CALLE CUARTA - SITE.pdf](#)
[Elevations_2021_11_18_Calle Cuarta Lender's Package-2.pdf](#)

November 19, 2021

North Valley Coalition
Peggy Norton
PO Box 70232
Albuquerque, NM 87197

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Neighborhood Association Representative,

As you have been made previously aware, the City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations



Kate Maliskas, AICP
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

D/P/S Ranks #9 on [ENR Southwest's List of Top Design Firms](#) for 2021.

11 REQUIRED NOTICES

4. 100' Buffer map, list of property owners, copy of notification letters and proof of first-class mailing to property owners

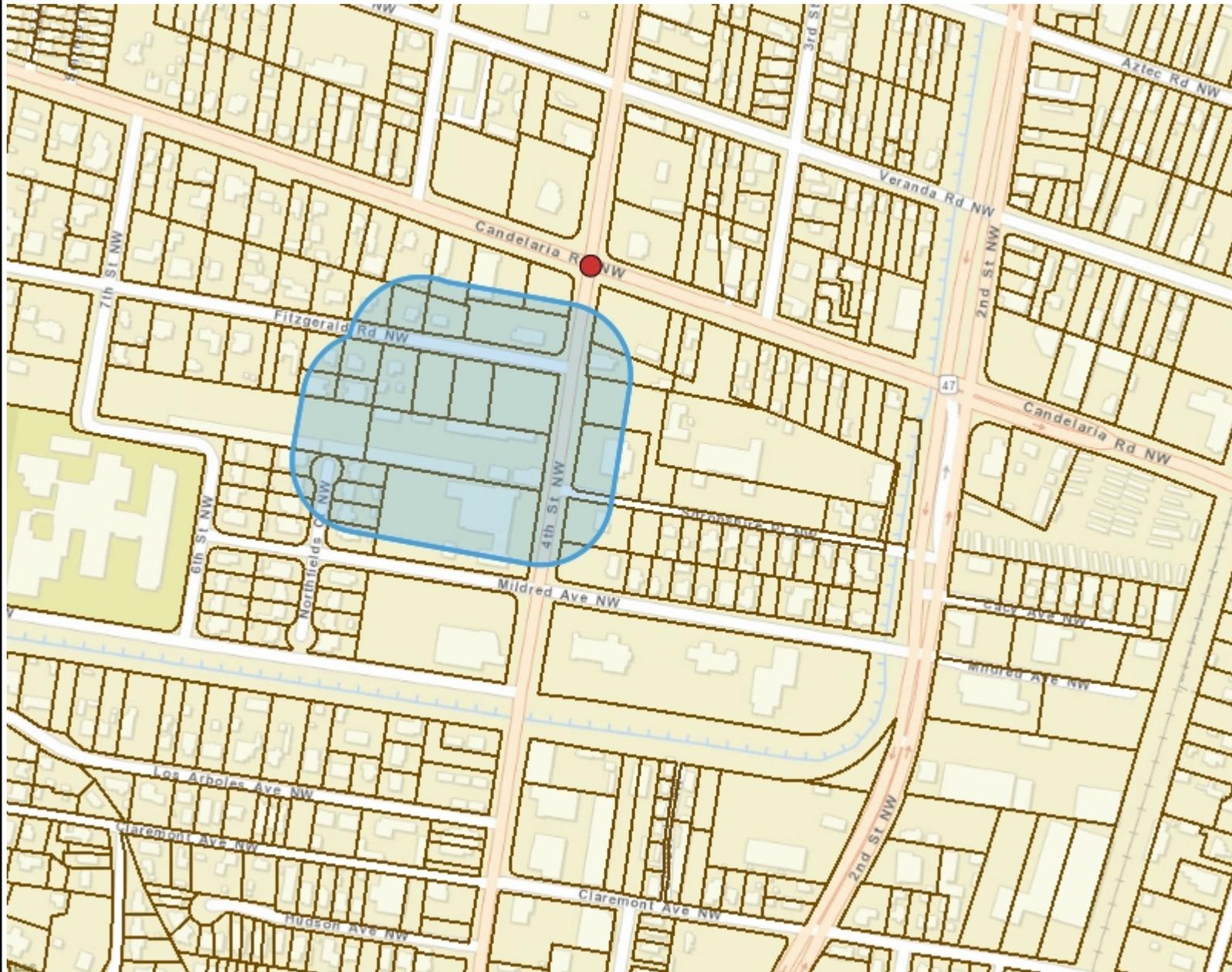


4th St NW and Fitzgerald Rd NW



Legend

□ Bernalillo County Parcels



Notes

Buffer: 185 Ft.
ROW 4th St: 85 Ft.

762 0 381 762 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
10/4/2021 © City of Albuquerque

1: 4,570

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

November 19, 2021

ELLA REZA G
3500 4TH ST NW
ALBUQUERQUE NM 87107-2426

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: ELLA REZA G

Mailing Address*: 3500 4TH ST NW ALBUQUERQUE NM 87107-2426

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:
Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

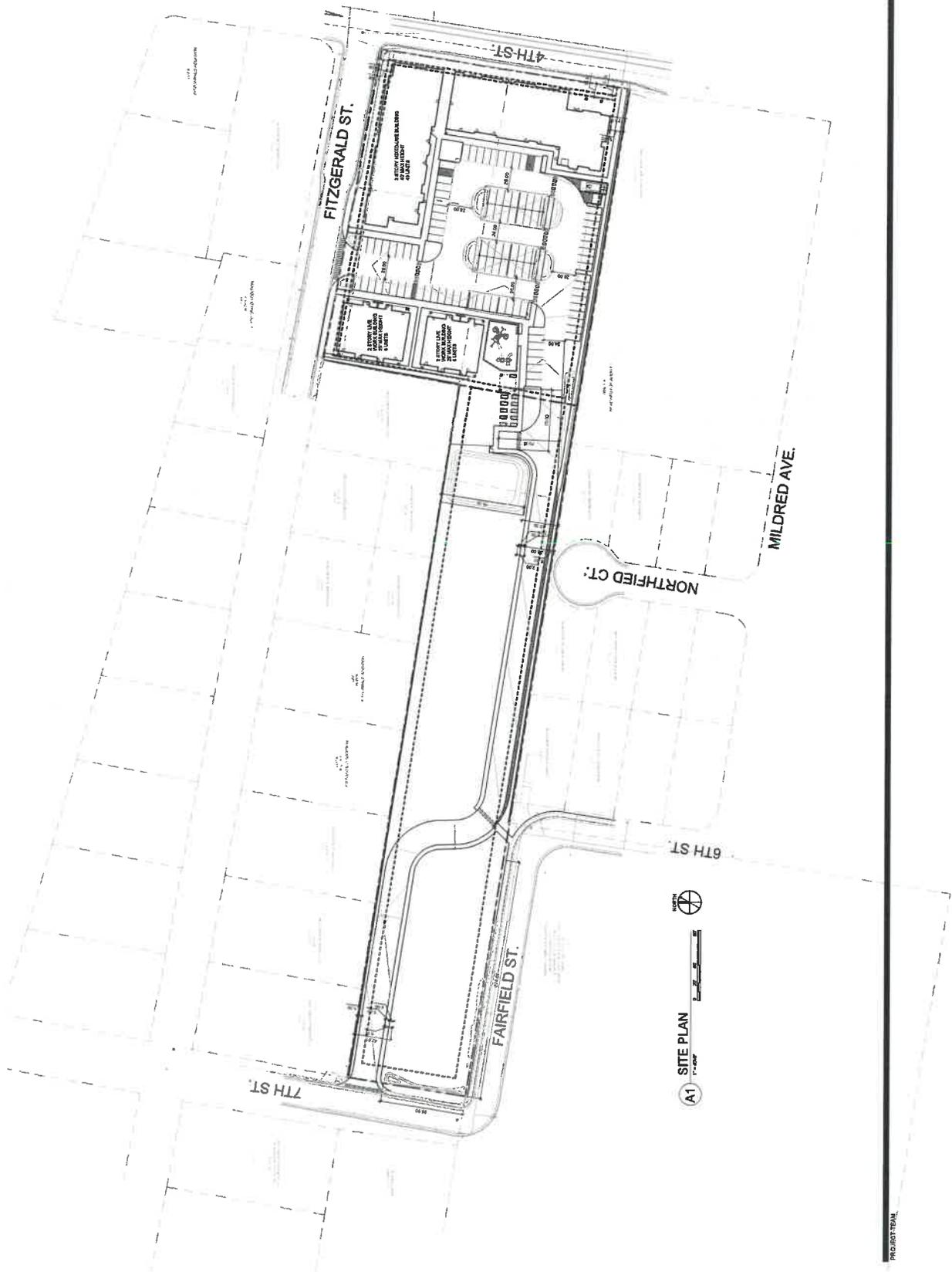
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinycloud.com/IDOzoningmap>

⁵ Available here: <https://tinycloud.com/idozoningmap>



(A1) SITE PLAN
1" = 20'

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

BACA DORENE B
514 FITZGERALD RD NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: BACA DORENE B

Mailing Address*: 514 FITZGERALD RD NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

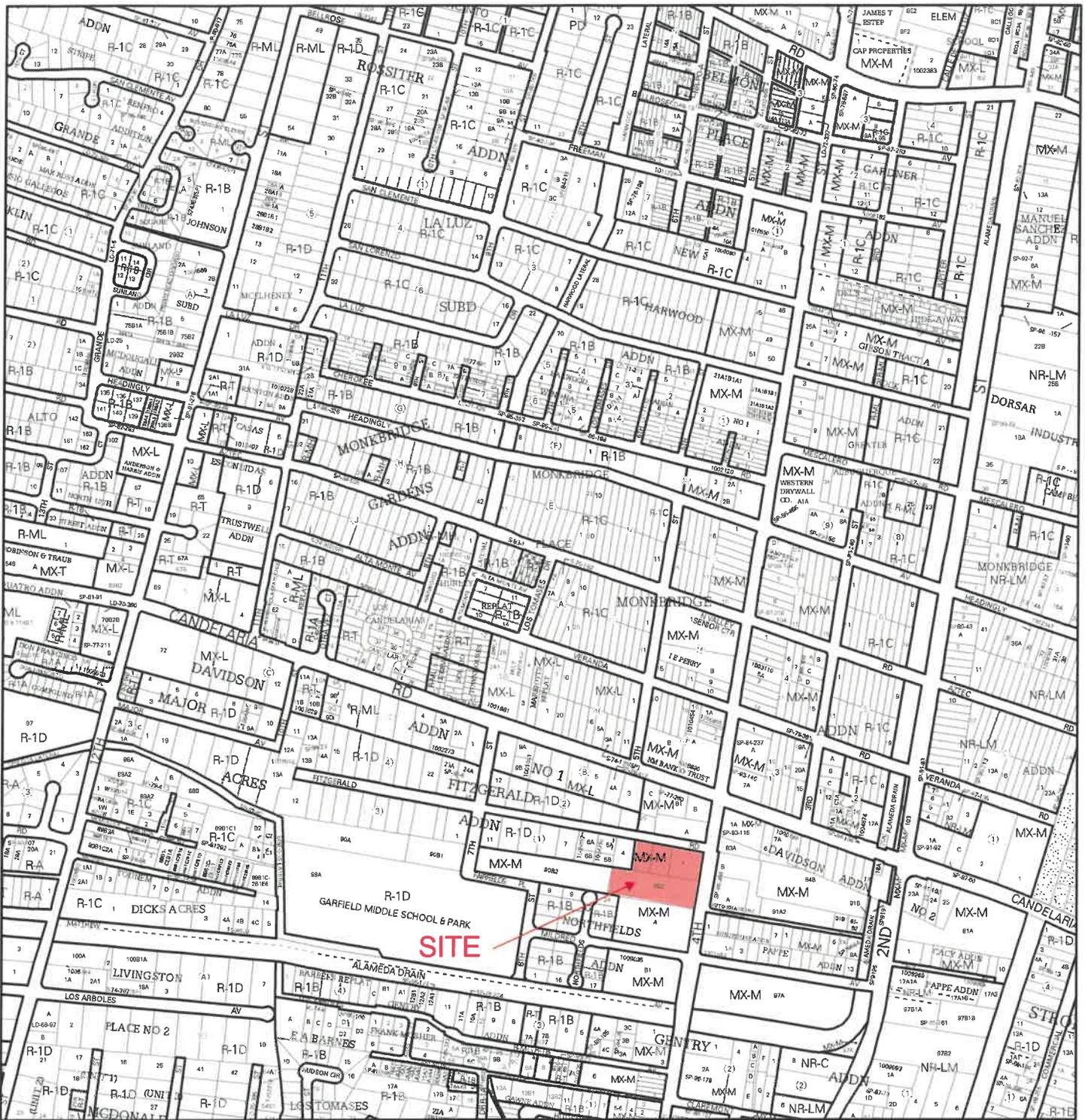
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinycloud.com/IDOzoningmap>

⁵ Available here: <https://tinycloud.com/IDOzoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z

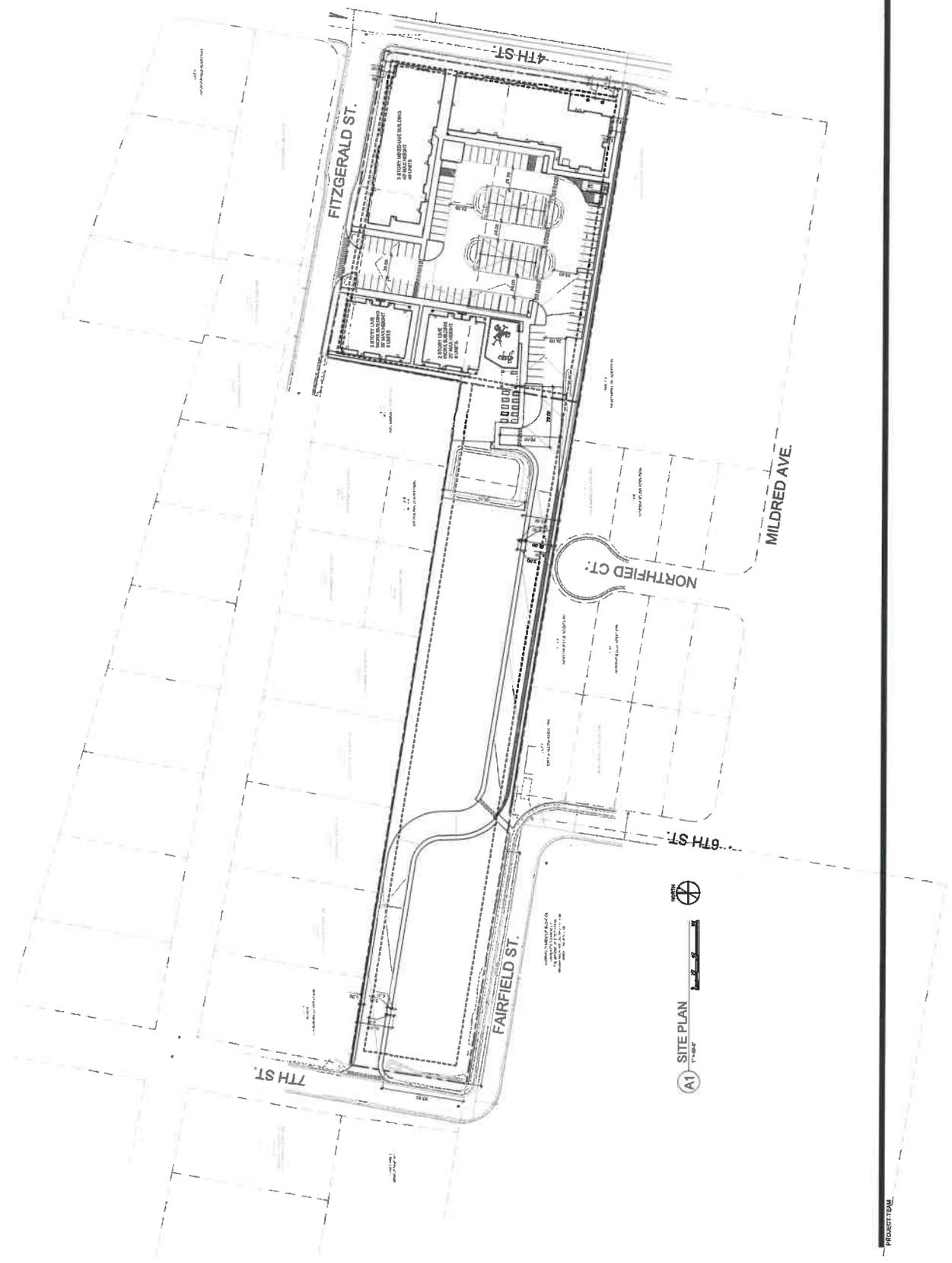
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



Gray Shading Represents Area Outside of the City Limits



0 250 500 1,000 Feet



(A1) SITE PLAN
1" = 60'

CALLE CUARTA
3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR) | BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



November 19, 2021

SOMMER ROBERT C TRUSTEE SOMMER FAMILY TRUST
231 SNOW CREEK CT
RENO NV 89511-5655

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: SOMMER ROBERT C TRUSTEE SOMMER FAMILY TRUST

Mailing Address*: 231 SNOW CREEK CT RENO NV 89511-5655

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family

apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
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 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinurl.com/IDOzoningmap>

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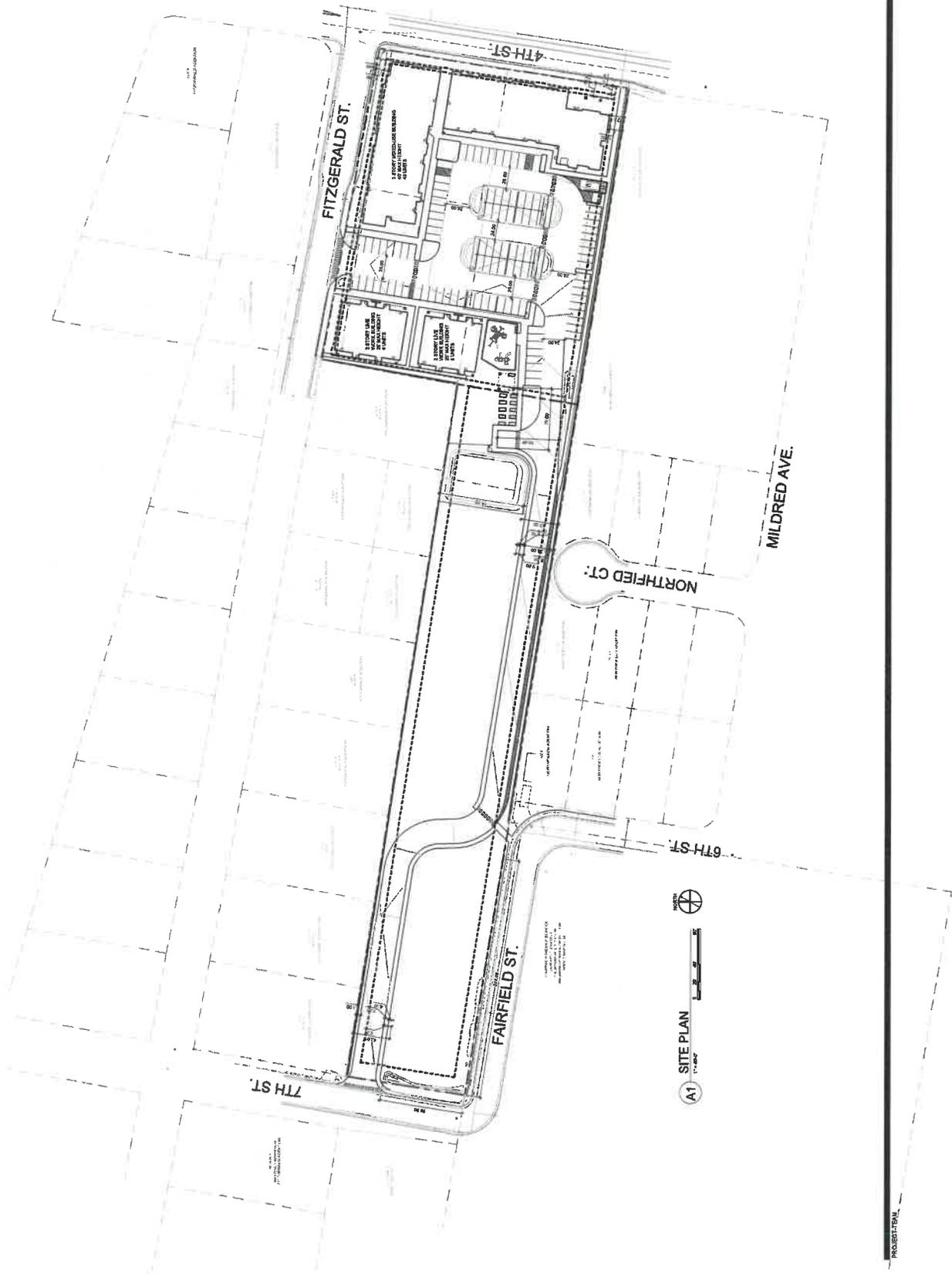
ARCHITECT

ENGINEER

PROJECT

CALLE CUARTA
3635 4TH STREET NW, ALBUQUERQUE, NM

DATE	12/19/21
PROJECT NO.	250276
TITLE/PURPOSE	



PROJECT TEAM

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd, NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

GARCIA MARCOS
4 TUKI CT
LOS LUNAS NM 87031-8269

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: GARCIA MARCOS

Mailing Address*: 4 TUKI CT LOS LUNAS NM 87031-8269

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
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 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

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- d. For residential development*: Maximum number of proposed dwelling units.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
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 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
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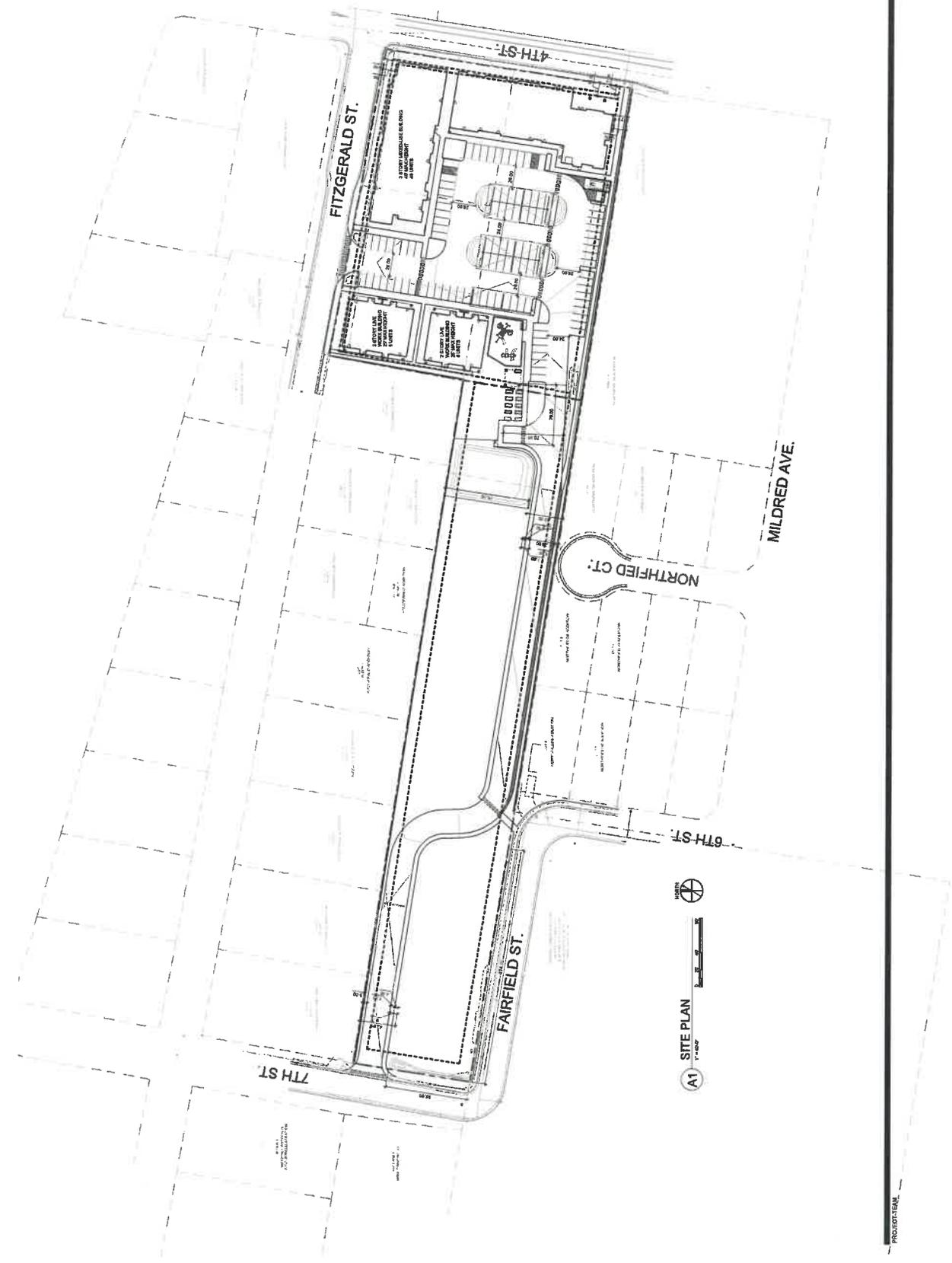
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<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>



A1 SITE PLAN
1"=20'

PROPOSED

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

BARTON INVESTMENT LLC C/O OREILLY AUTO STORES #2700 RYAN LLC
PO BOX 9167
SPRINGFIELD MO 65801-9167

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: BARTON INVESTMENT LLC C/O OREILLY AUTO STORES
#2700 RYAN LLC

Mailing Address*: PO BOX 9167 SPRINGFIELD MO 65801-9167

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

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Additional Information:

From the IDO Zoning Map⁵:

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For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

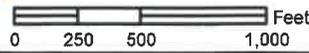


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



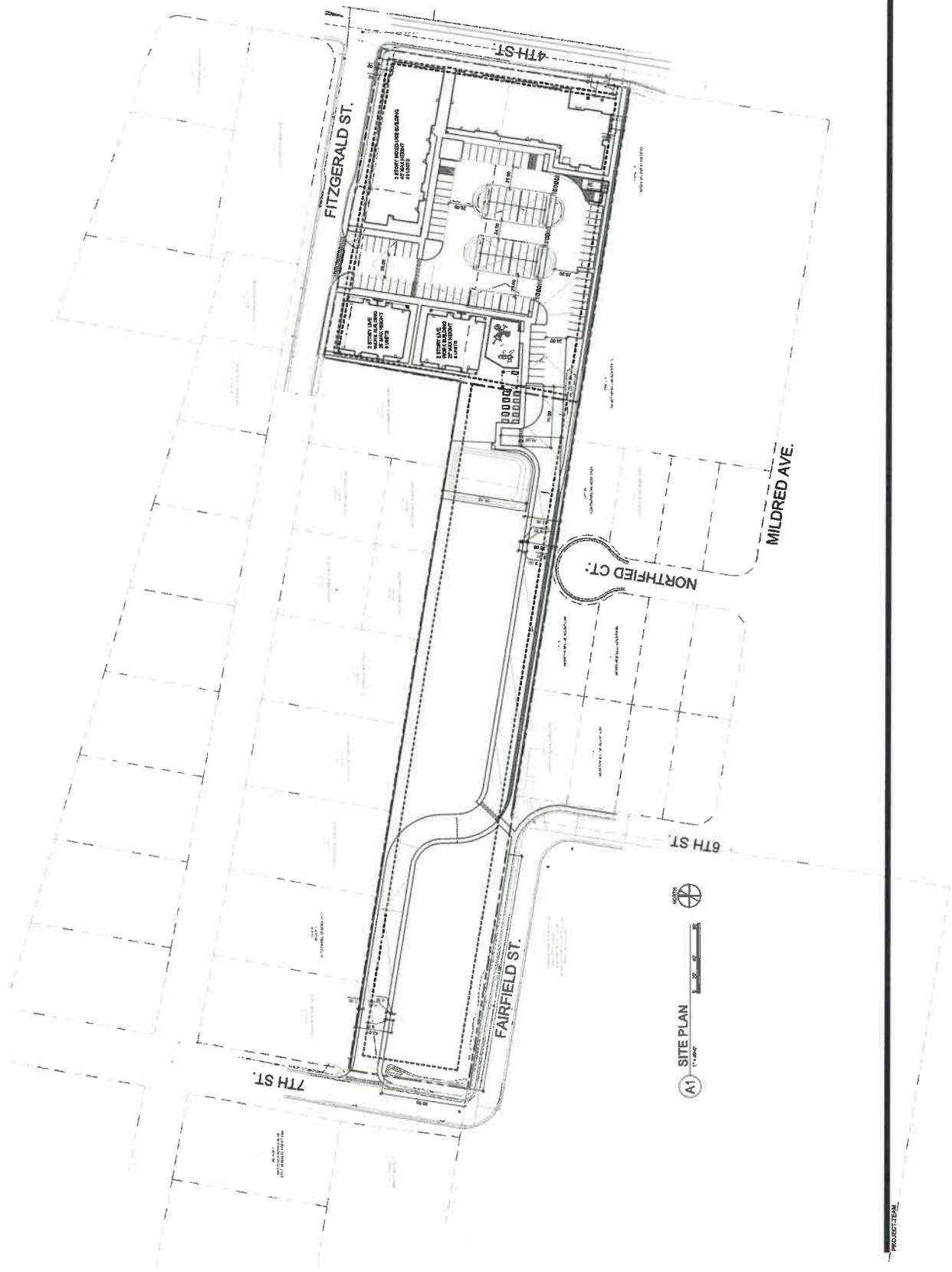
ARCHITECT

ENGINEER

PROJECT

CALLE CUARTA
3535 4TH STREET NW, ALBUQUERQUE, NM

DATE: 10/19/21
PROJECT NO.: 20-0276
SCALE: 1/8" = 1'-0"



A1 SITE PLAN
1" = 80'

PROFESSIONAL

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



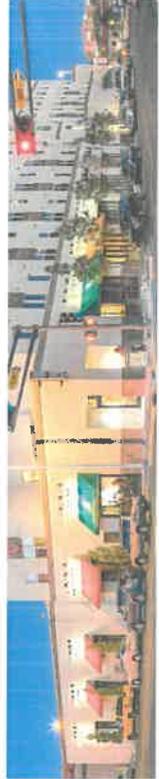
BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

BACA SALVADOR A
3514 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: BACA SALVADOR A

Mailing Address*: 3514 NORTHFIELD CT NW ALBUQUERQUE NM 87107-2443

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

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IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z



- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

N

0 250 500 1,000
Feet

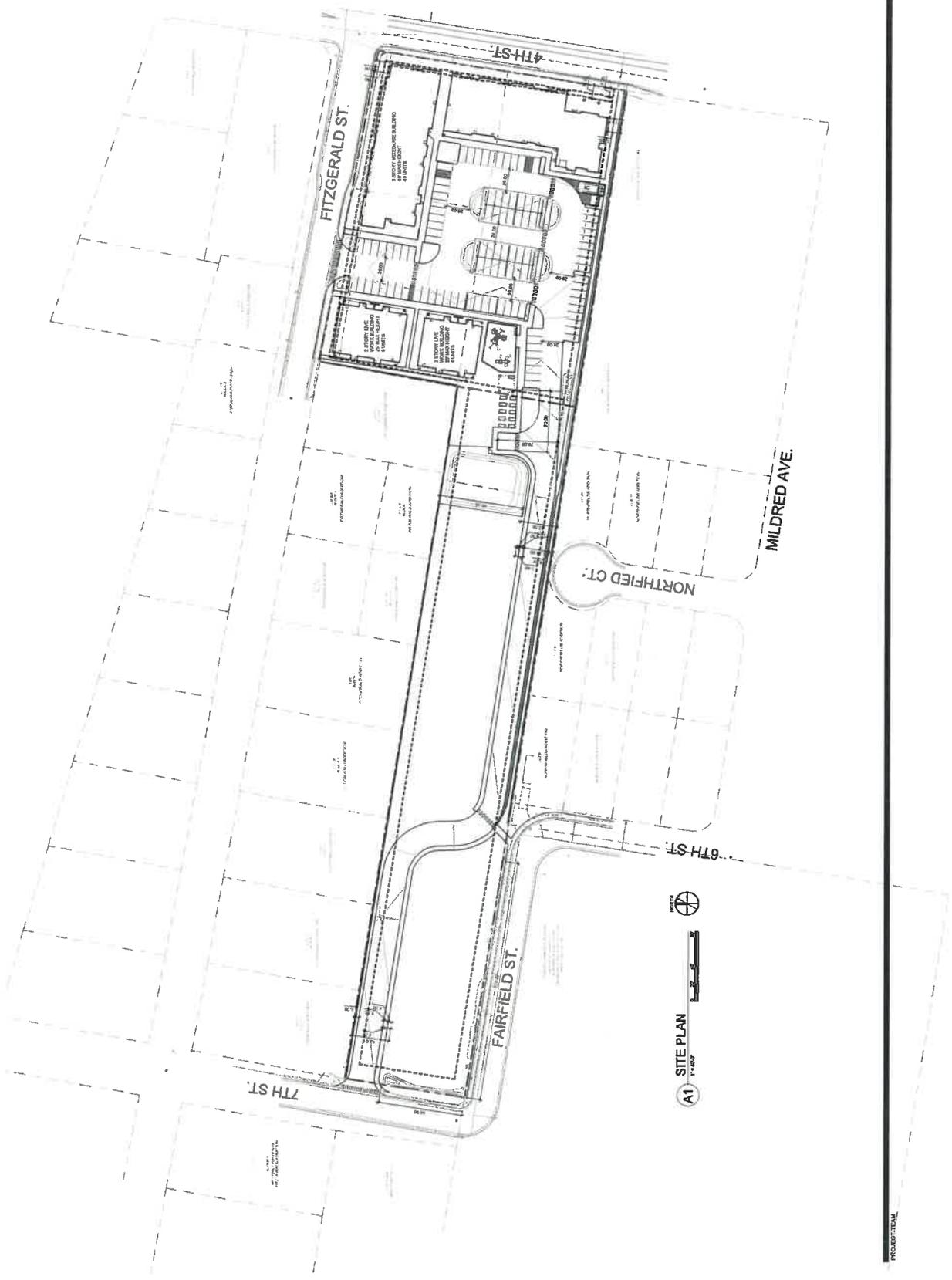
ARCHITECT

ENGINEER

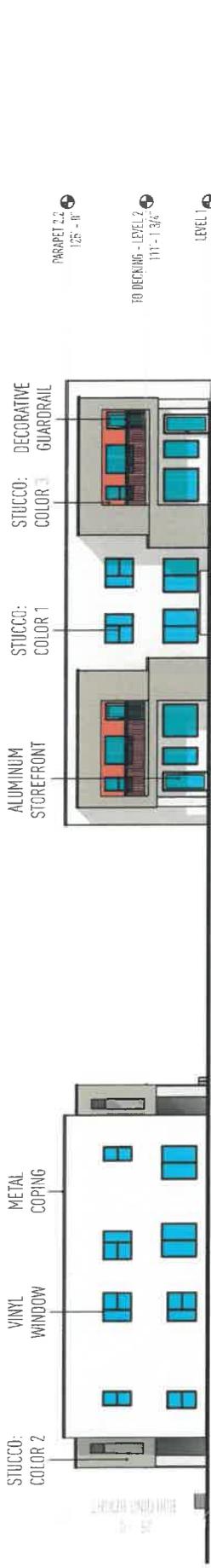
PROJECT

3535 4TH STREET NW, ALBUQUERQUE, NM
CALLE CUARTA

DATE: 10/19/21
PROJECT NO.: 20-0076
SCALE: AS SHOWN



PROJECT TEAM



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION (FROM 4TH STREET)

ELEVATIONS



November 19, 2021

AUTO SHACK INC DEPT 4040
PO BOX 2198
MEMPHIS TN 38101-2198

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: AUTO SHACK INC DEPT 4040

Mailing Address*: PO BOX 2198 MEMPHIS TN 38101-2198

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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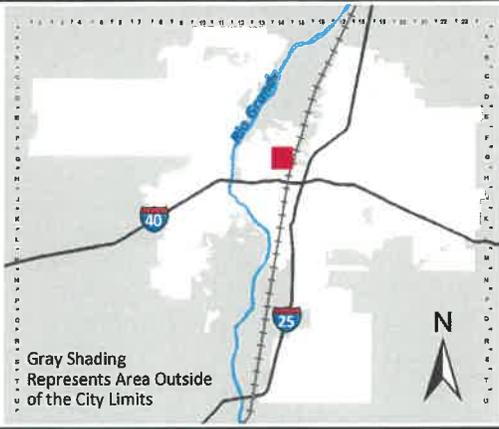
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IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
 The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page: **G-14-Z**

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

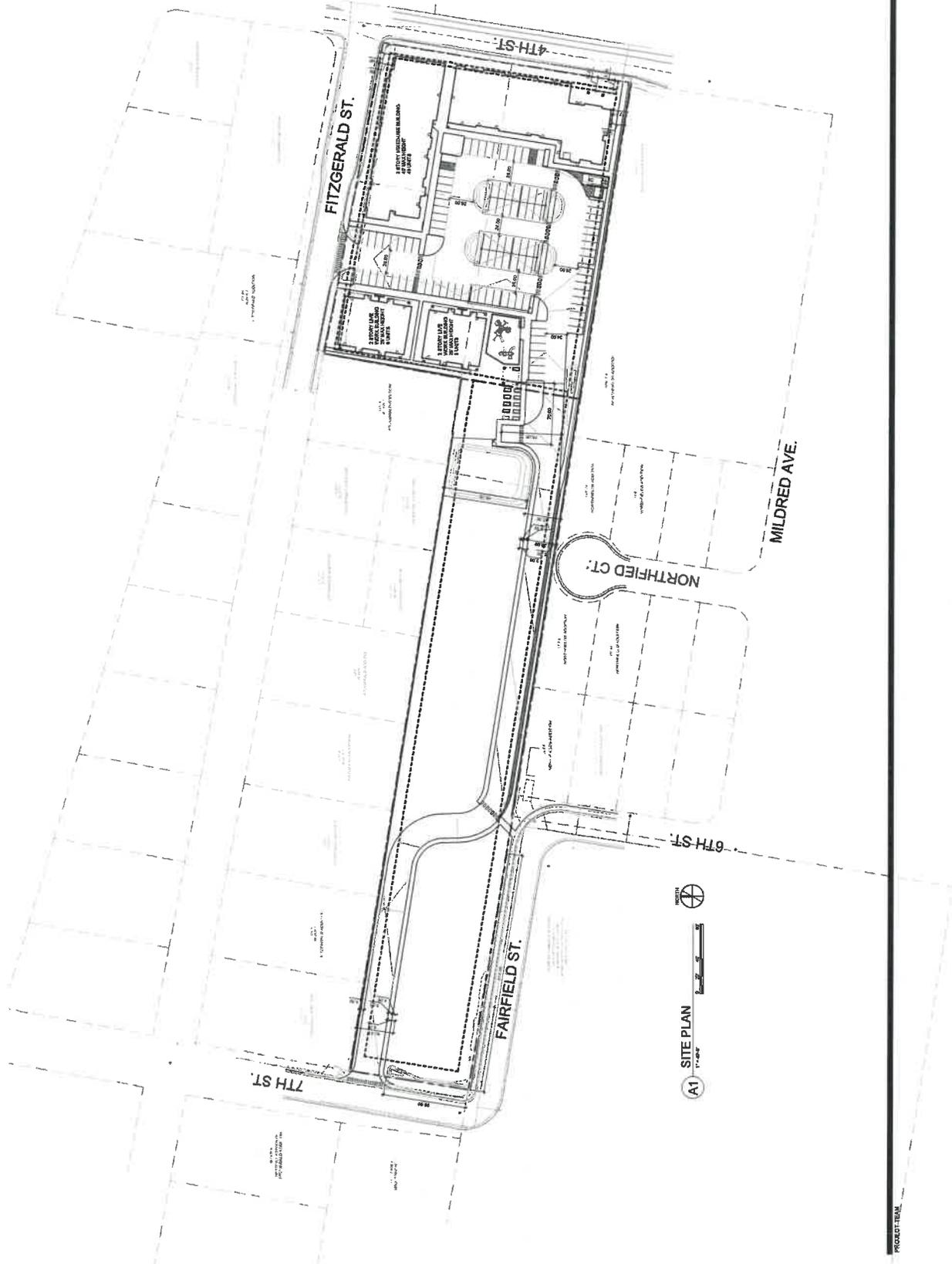
ARCHITECT

ENGINEER

PROJECT

3535 4TH STREET NW, ALBUQUERQUE, NM
CALLE CUARTA

DATE: 10/18/21
 PROJECT NO.: 200276
 TITLE: PURPOSE



A1 SITE PLAN
 1" = 40'

PROJECT TEAM

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CITY OF ALBUQUERQUE

Mailing Address*: PO BOX 1293 ALBUQUERQUE NM 87103

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

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 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
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 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

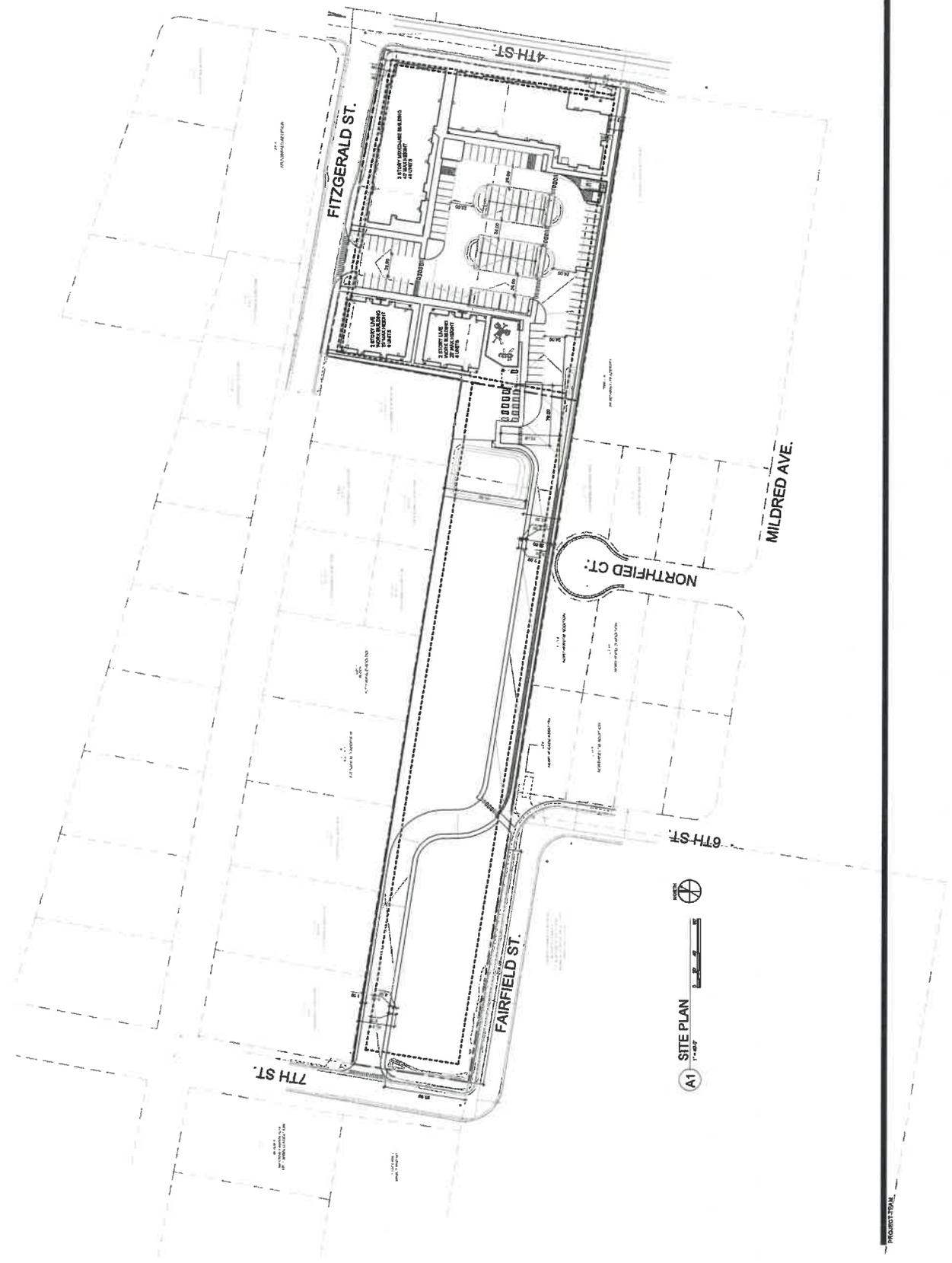


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



A1 SITE PLAN
1" = 40'

PROJECTIONS



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



November 19, 2021

CORONA RAUL & ANGELA
7513 EL MORRO RD NE
ALBUQUERQUE NM 87109-3805

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CORONA RAUL & ANGELA

Mailing Address*: 7513 EL MORRO RD NE ALBUQUERQUE NM 87109-3805

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
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 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

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 - Zoning Hearing Examiner (ZHE)
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 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
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Useful Links

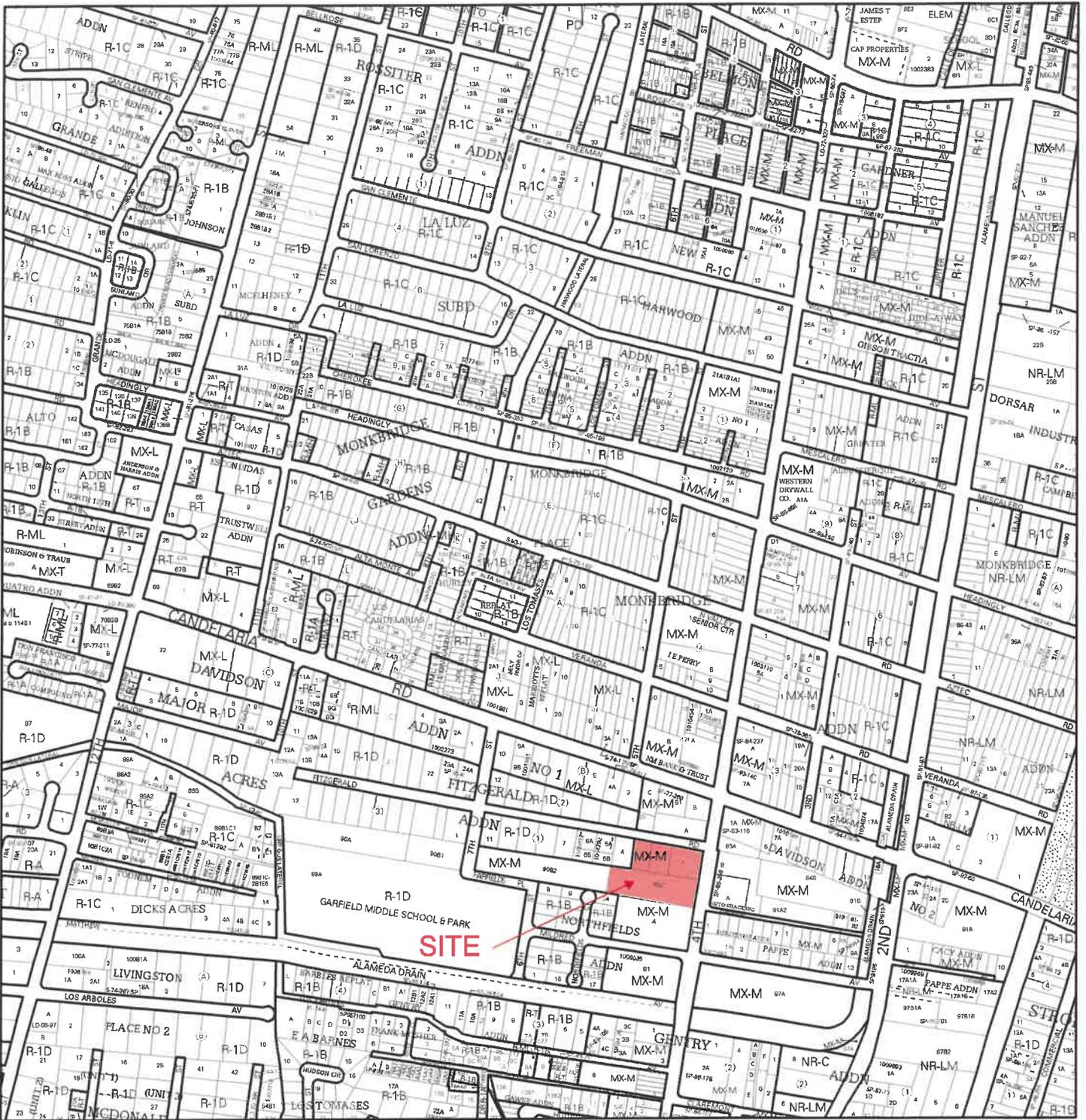
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IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
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Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet

DATE

PROJECT NO.

PROJECT

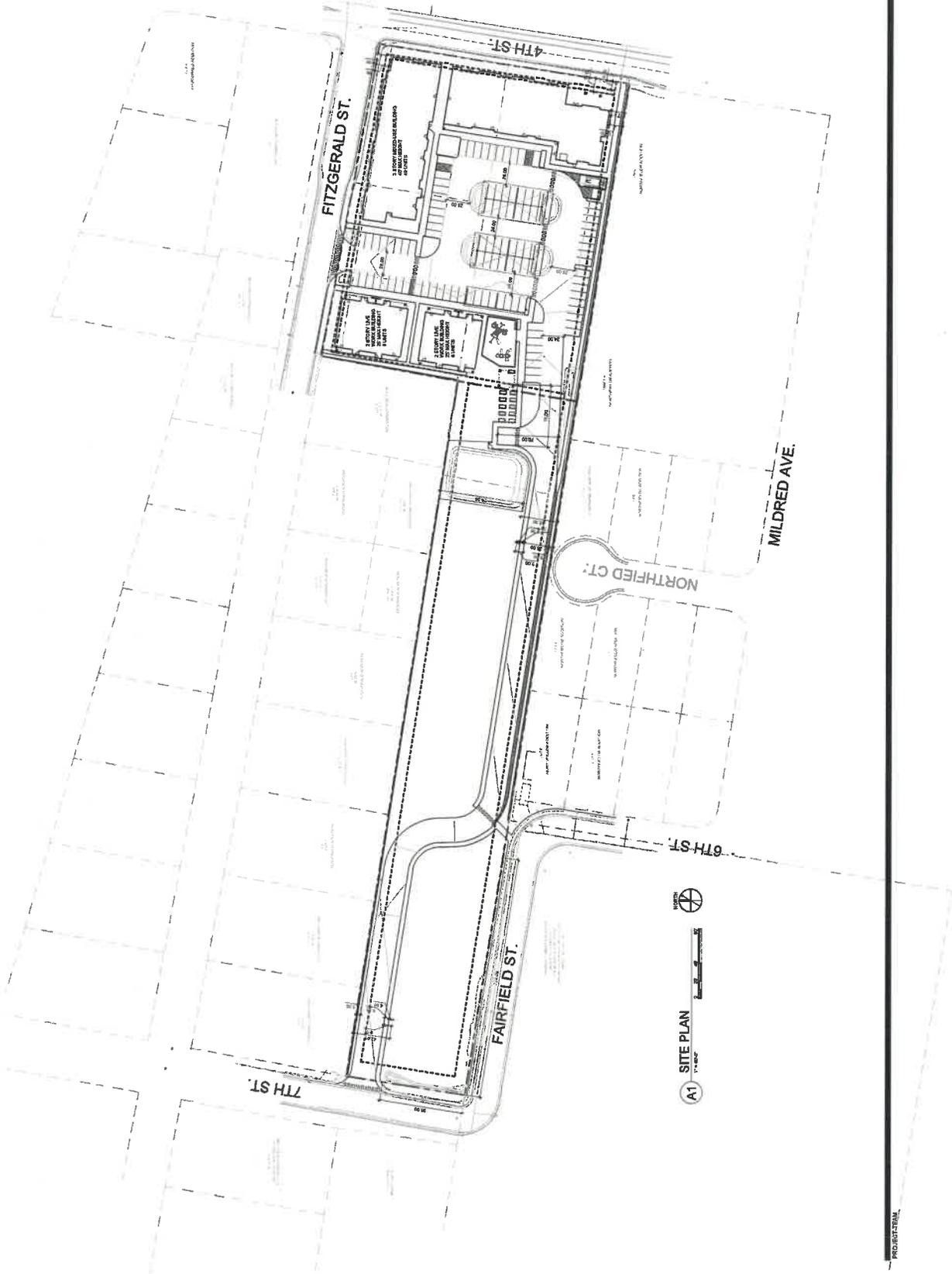
3535 4TH STREET NW, ALBUQUERQUE, NM
CALLE CUARTA

DATE

PROJECT NO.

PROJECT

ISSUE PURPOSE

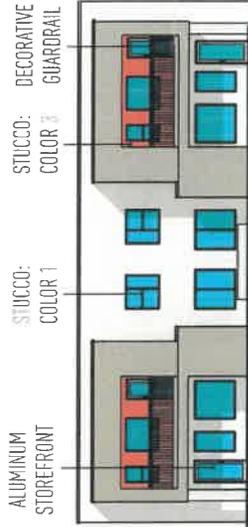


A1 SITE PLAN
1" = 40'

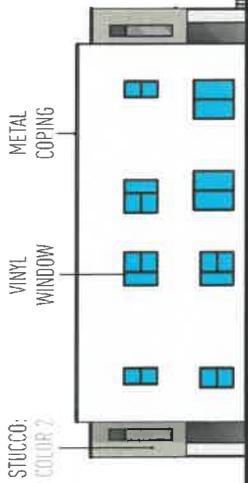
PROJECTIONS

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)

PARAPET 2.2
1.25' - 0"

TO DECKING - LEVEL 2
111' - 1.34'

LEVEL 1
100' - 0"



BUILDING A - EAST ELEVATION FROM 4TH STREET

PARAPET 3
1.39' - 10 1/4"

LEVEL 3
115' - 2 1/2"

LEVEL 2
114' - 0 3/4"

LEVEL 1
100' - 0"

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

BACA AMADO G & MARY L
3506 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

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Mailed to a Property Owner**

Date of Notice*: November 19, 2021

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Property Owner within 100 feet*: BACA AMADO G & MARY L

Mailing Address*: 3506 NORTHFIELD CT NW ALBUQUERQUE NM 87107-2443

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
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 - Permit _____ (Carport or Wall/Fence – Major)
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Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
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Additional Information:

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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z



-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
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Gray Shading
Represents Area Outside
of the City Limits




ARCHITECT

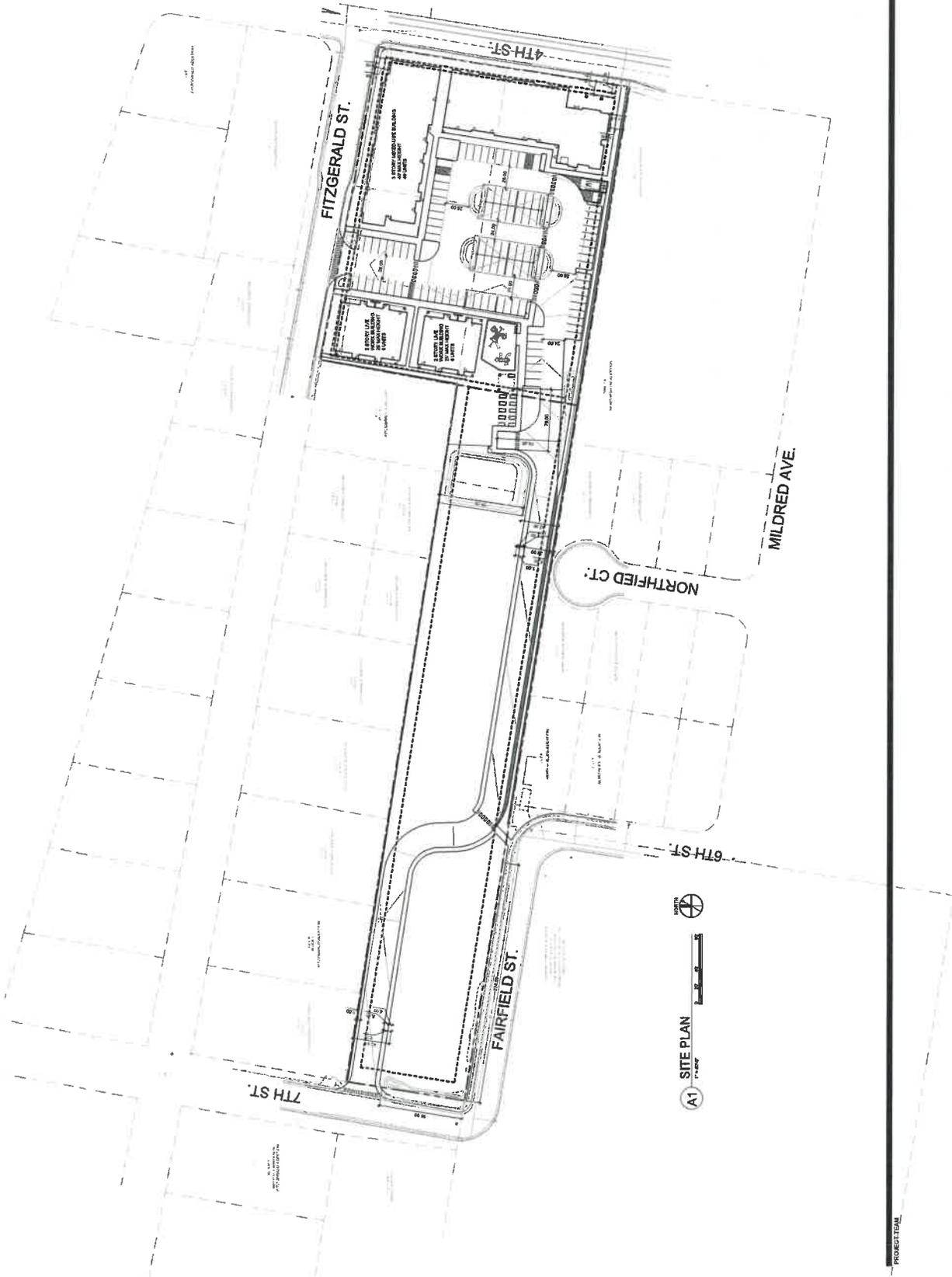
ENGINEER

PROJECT

3535 4TH STREET NW, ALBUQUERQUE, NM

CALLE CUARTA

DATE	ISSUE
PROJECT NO.	PROJECT
TITLE & ISSUE	



(A1) SITE PLAN

PROJECTIONS

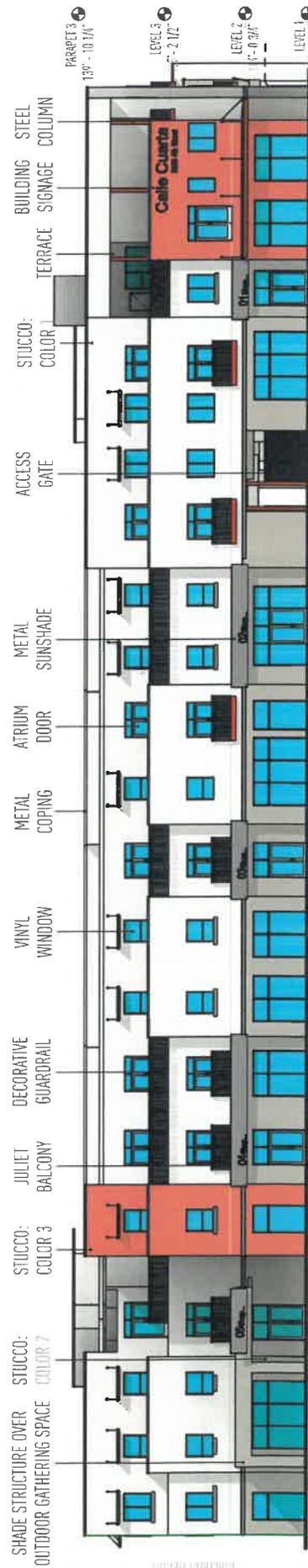
CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKker
PERICH
SABATINI

November 19, 2021

AUSTIN MICHELLE
511 FITZGERALD RD NW
ALBUQUERQUE NM 87107-2431

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: AUSTIN MICHELLE

Mailing Address*: 511 FITZGERALD RD NW ALBUQUERQUE NM 87107-2431

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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<https://ido.abc-zone.com/>

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IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z

--- Easement

○ Petroglyph National Monument

▨ Areas Outside of City Limits

▨ Airport Protection Overlay (APO) Zone

▨ Character Protection Overlay (CPO) Zone

▨ Historic Protection Overlay (HPO) Zone

▨ View Protection Overlay (VPO) Zone

▨ Escarpment

▨

▨

▨

▨

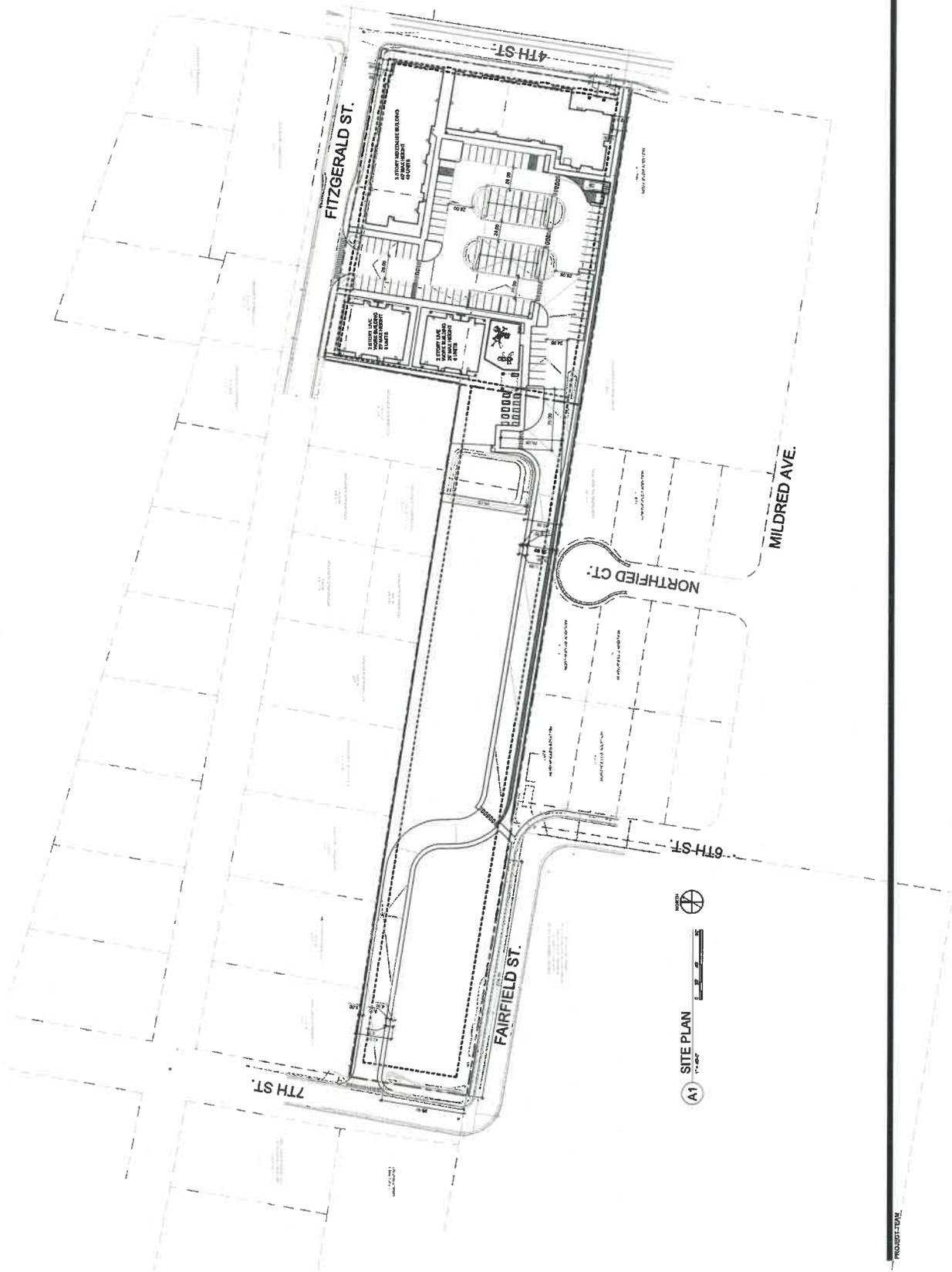
▨

▨



Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet



(A1) SITE PLAN
1" = 40'

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

LOIACONO MELISSA
3513 NORTHFIELD CT NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

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Property Owner within 100 feet*: LOIACONO MELISSA

Mailing Address*: 3513 NORTHFIELD CT NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
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 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

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apartments, live/work units, and commercial space.

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[Note: Items with an asterisk (*) are required.]

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Additional Information:

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 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
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-

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IDO Zone Atlas

May 2018

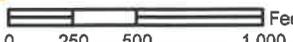


IDO Zoning information as of May 17, 2018
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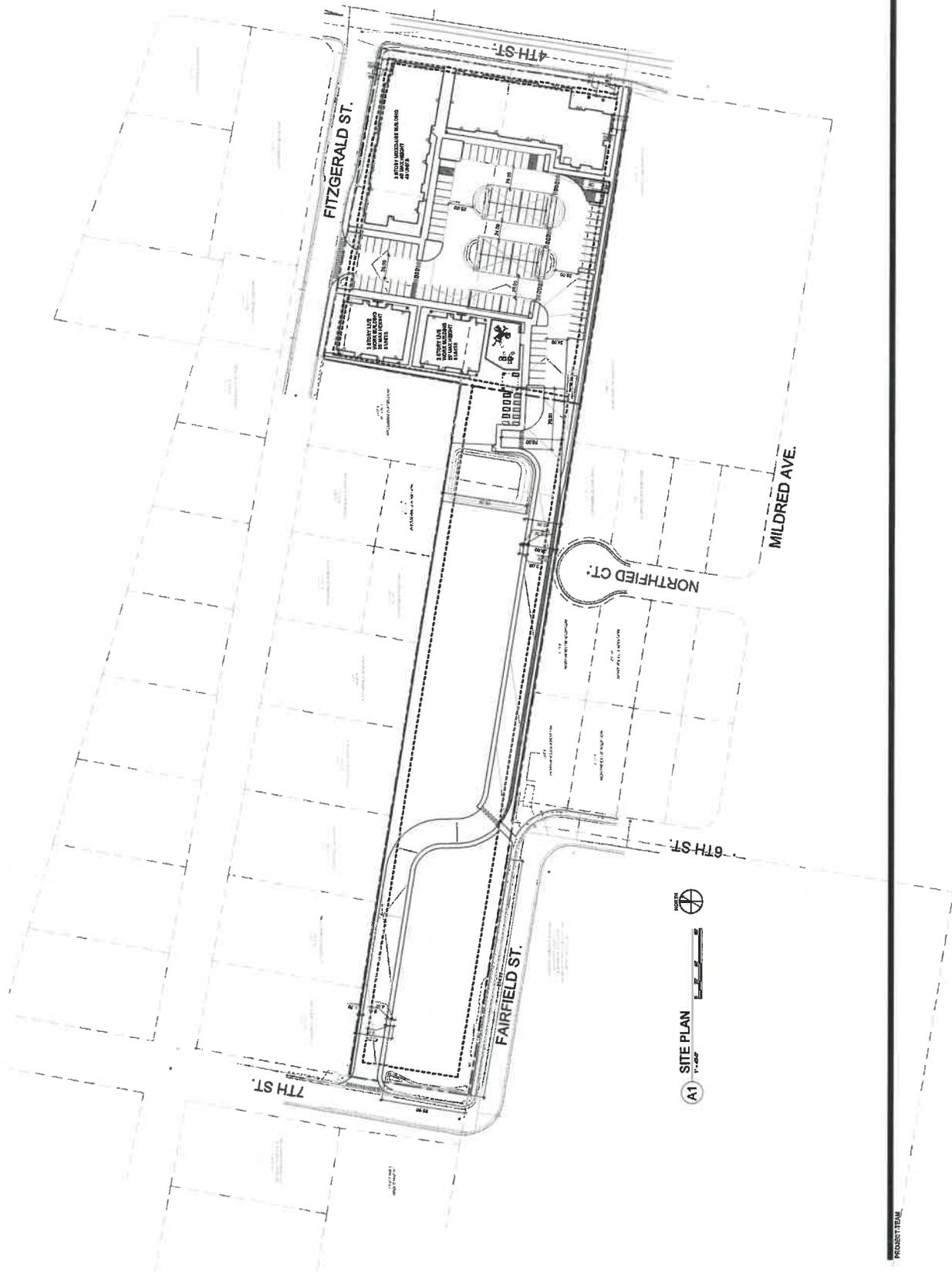
Zone Atlas Page:
G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits





(A1) SITE PLAN
1" = 40'

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

ZAMORA VIRGINIA A
3505 NORTHFIELD CT NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

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Sincerely,



Will Gleason
Agent for YES Housing

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Mailed to a Property Owner**

Date of Notice*: November 19, 2021

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Property Owner within 100 feet*: ZAMORA VIRGINIA A

Mailing Address*: 3505 NORTHFIELD CT NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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 - Waiver
 - Other: _____

Summary of project/request¹*:
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Additional Information:

From the IDO Zoning Map⁵:

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- Current Land Use(s) [vacant, if none] Vacant
-

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IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
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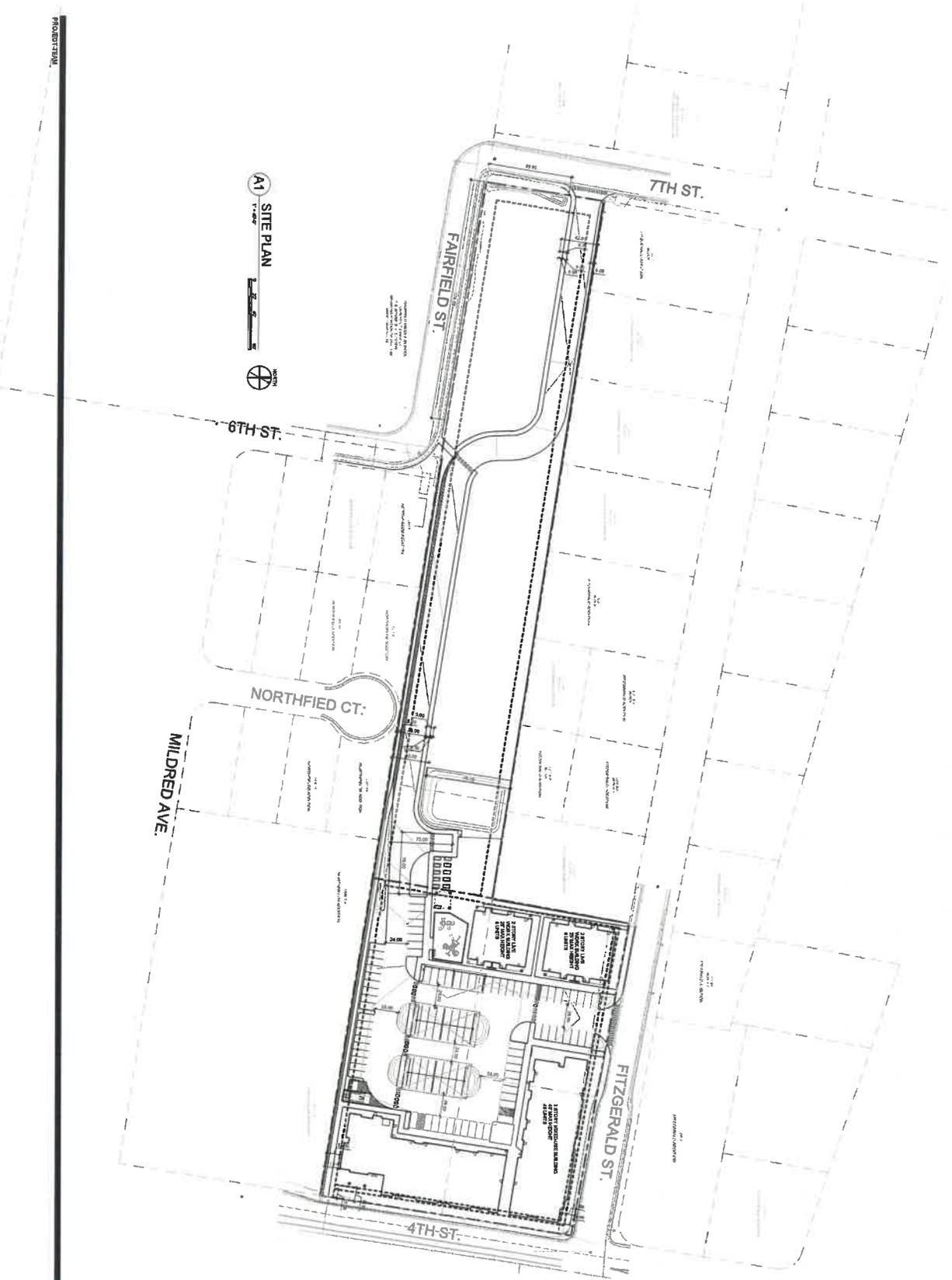
Zone Atlas Page:
G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
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- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Gray Shading
Represents Area Outside
of the City Limits

PROJECT NAME



A1 SITE PLAN 1"=40'



6TH ST.

NORTHFIED CT.

MILDRED AVE.

4TH ST.

FITZGERALD ST.

7TH ST.

CALLE CUARTA

3535 4TH STREET NW, ALBUQUERQUE, NM

DEKKER PERICH SABATINI

ARCHITECT

ENGINEER

PROJECT

DATE 1/9/21
 PROJECT NO. 205278
 ISSUE PURPOSE

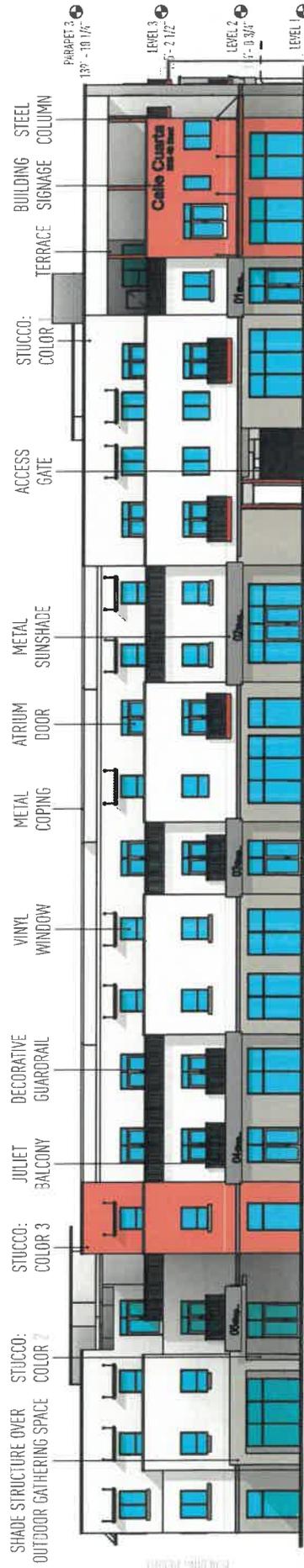
CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

PICHARDO JAMES D & MARIA C ORTEGA
504 FITZGERALD RD NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

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Property Owner within 100 feet*: PICHARDO JAMES D & MARIA C ORTEGA

Mailing Address*: 504 FITZGERALD RD NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
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IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
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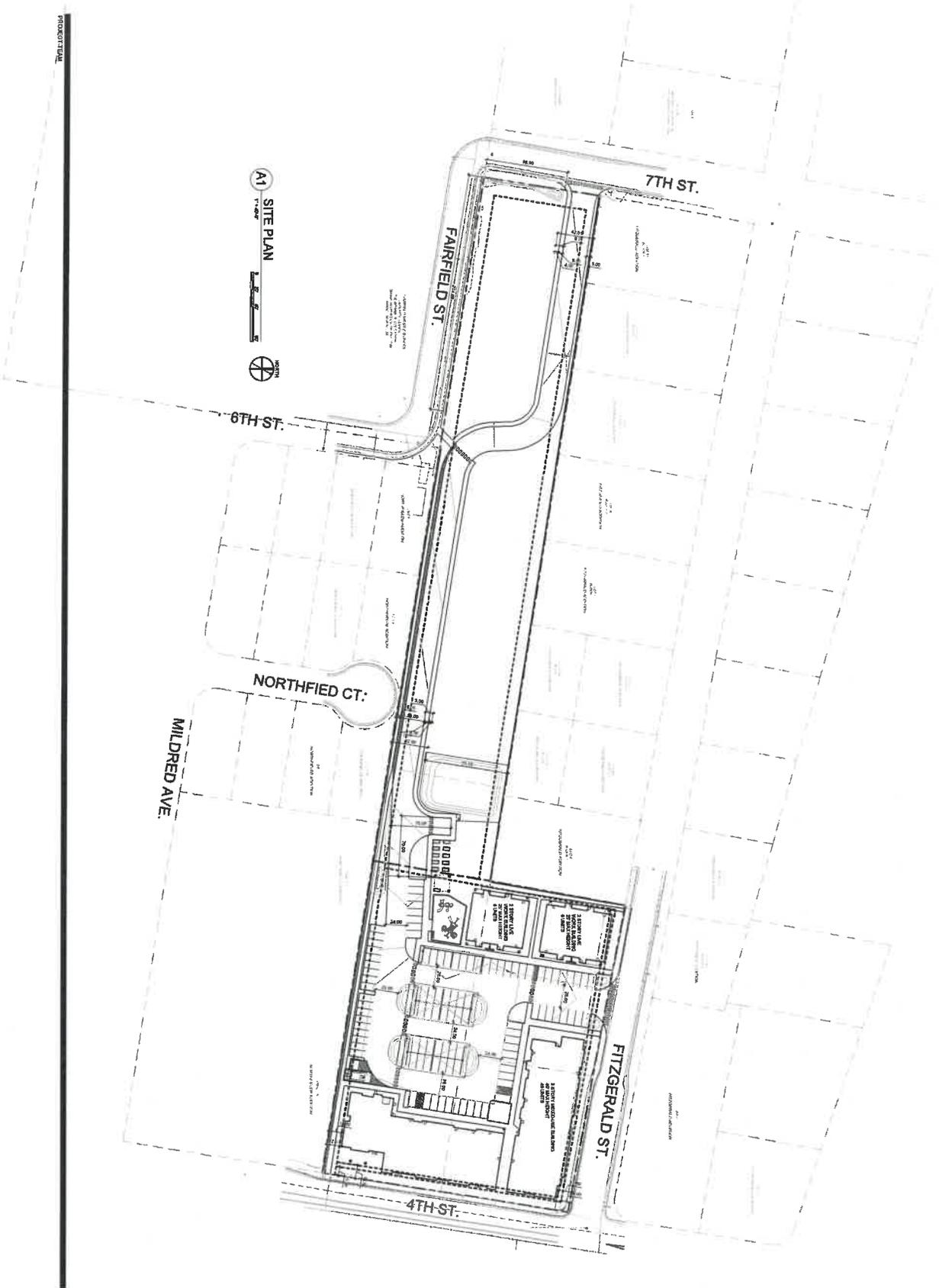
Zone Atlas Page: **G-14-Z**

-  Easement
-  Escarpment
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Gray Shading Represents Area Outside of the City Limits



0 250 500 1,000 Feet



CALLE CUARTA

3535 4TH STREET NW, ALBUQUERQUE, NM

DEKKER
PERICH
SABATINI

ARCHITECT

ENGINEER

PROJECT

DATE: 08/14/21
 PROJECT NO.: 20-0276
 ISSUE PURPOSE:

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

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Mailing Address*: PO BOX 1293 ALBUQUERQUE NM 87103

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

Seeking DRB Approval for a mixed-use development with multi-family

apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:

G-14-Z



- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

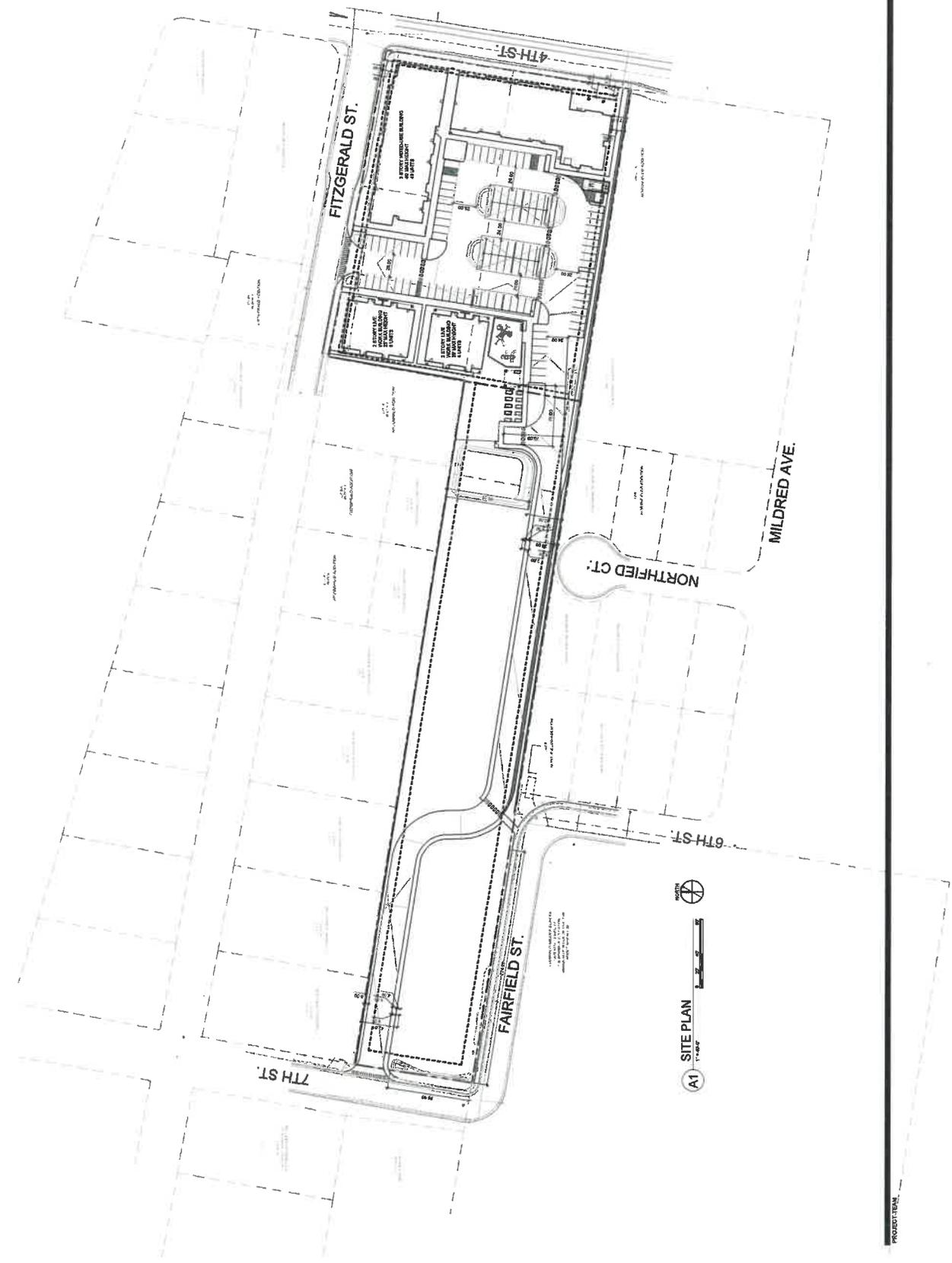
ARCHITECT

ENGINEER

PROJECT

3535 4TH STREET NW, ALBUQUERQUE, NM
CALLE CUARTA

DATE 10/11/21
 PROJECT NO. 20-0278
 ISSUE PURPOSE

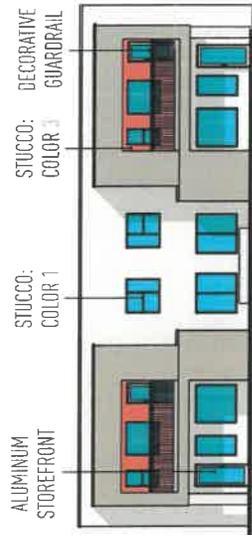


A1 SITE PLAN

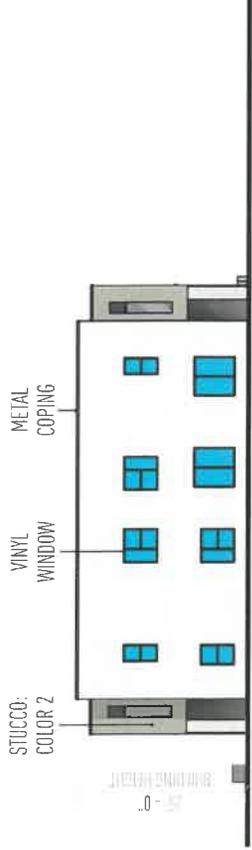
PROJECTIONS

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET



ELEVATIONS

November 19, 2021

STRUCTURAL SERVICES
3520 4TH ST NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: STRUCTURAL SERVICES

Mailing Address*: 3520 4TH ST NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

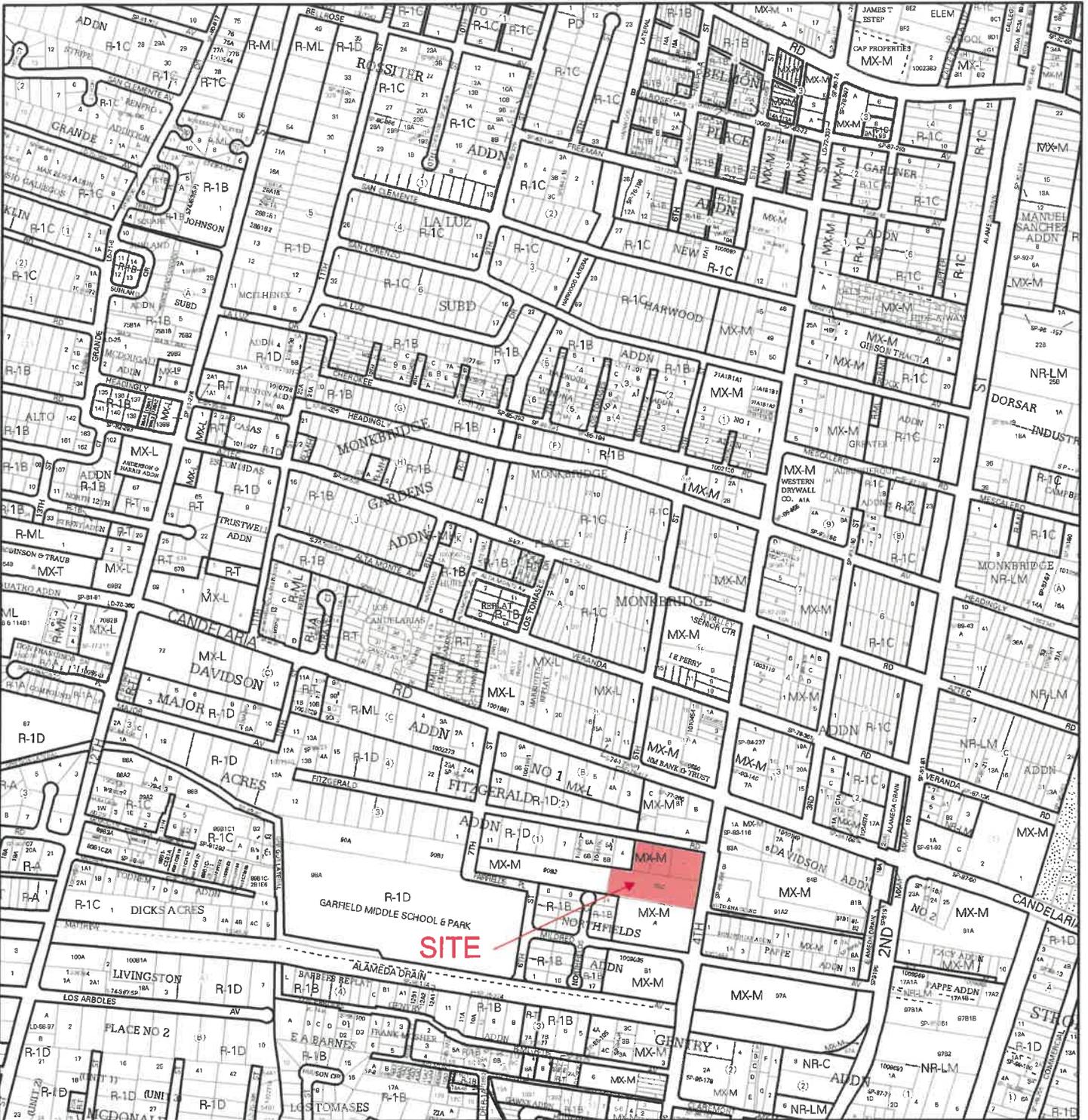
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

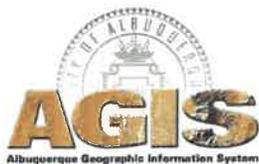
<https://tinycloud.com/IDOzoningmap>

⁵ Available here: <https://tinycloud.com/idozoningmap>

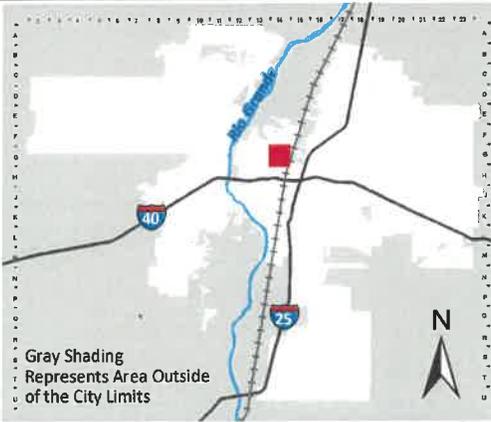


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

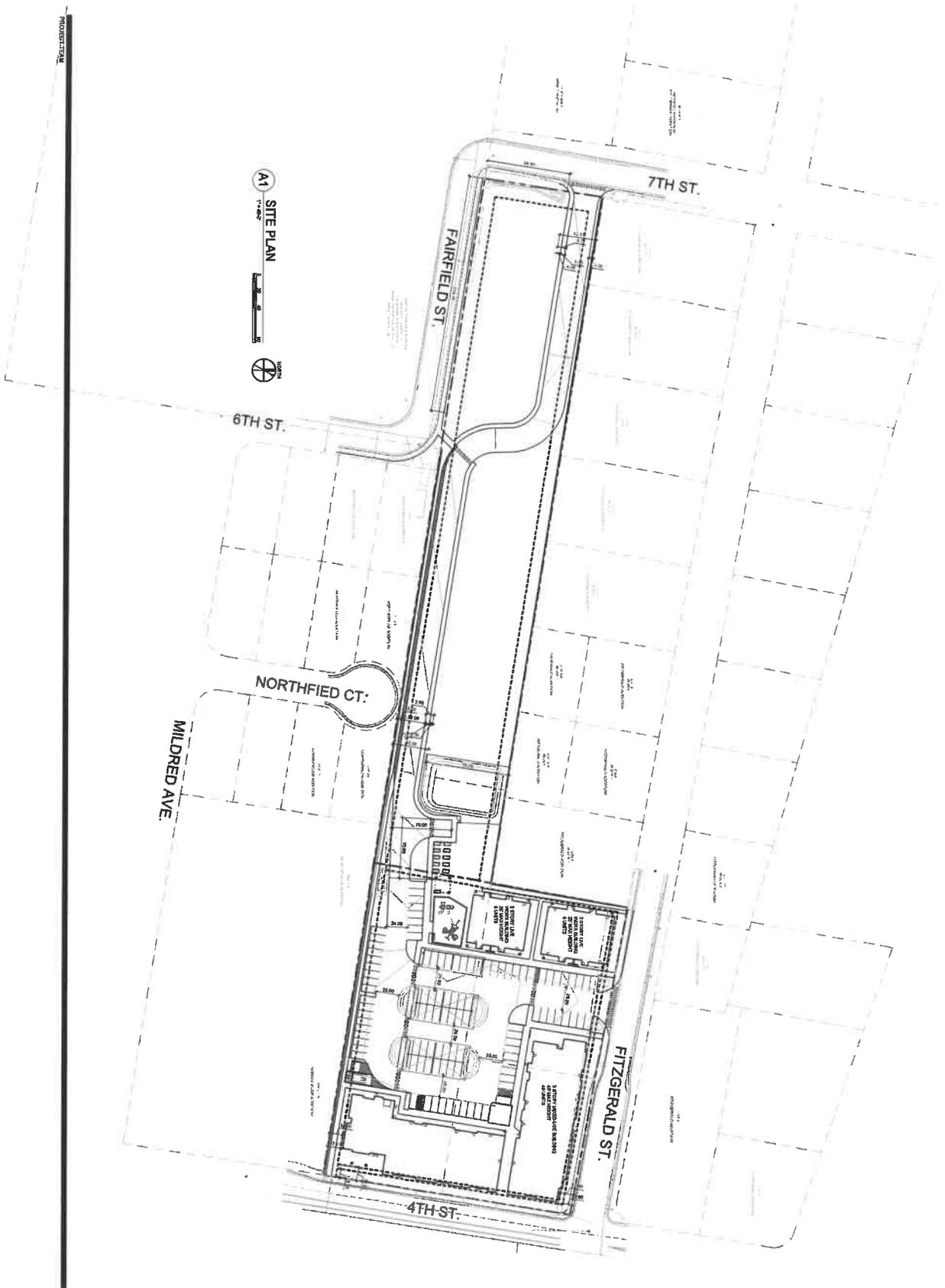


Zone Atlas Page:
G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000
Feet



**DEKKER
PERICH
SABATINI**

ARCHITECT

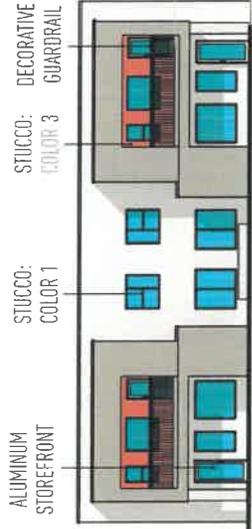
ENGINEER

PROJECT

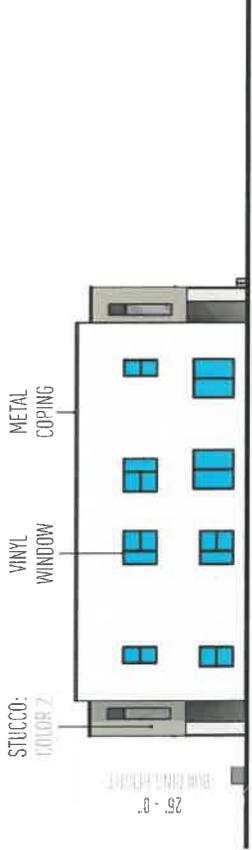
CALLE CUARTA

3535 4TH STREET NW, ALBUQUERQUE, NM

DATE: 10/16/21
 PROJECT NO.: 25-0278
 ISSUE PURPOSE:



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET



ELEVATIONS

November 19, 2021

GALLEGOS JOLENE
512 FITZGERALD RD NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: GALLEGOS JOLENE

Mailing Address*: 512 FITZGERALD RD NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:
Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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IDO Interactive Map

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⁵ Available here: <https://tinycloud.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

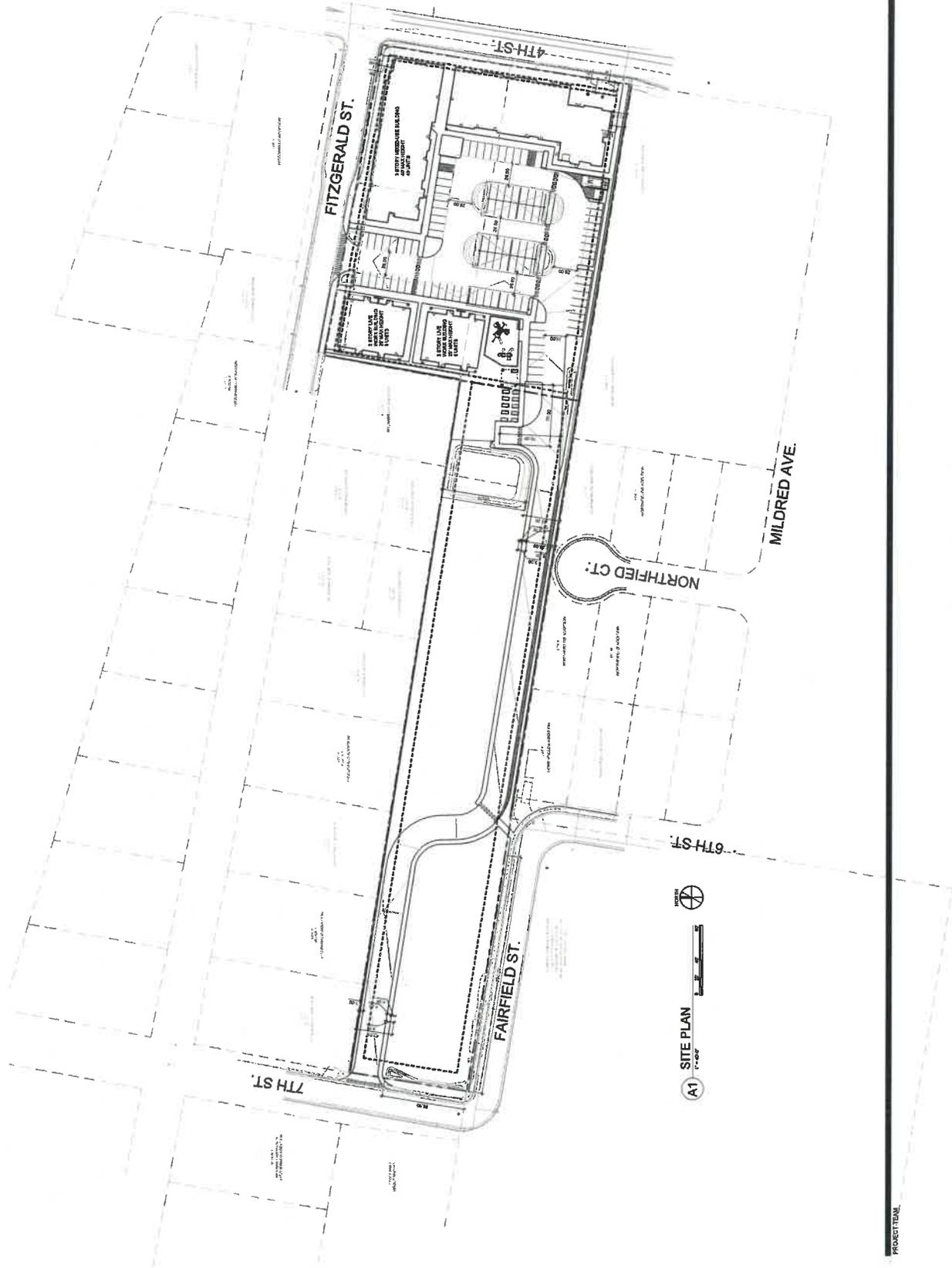
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z

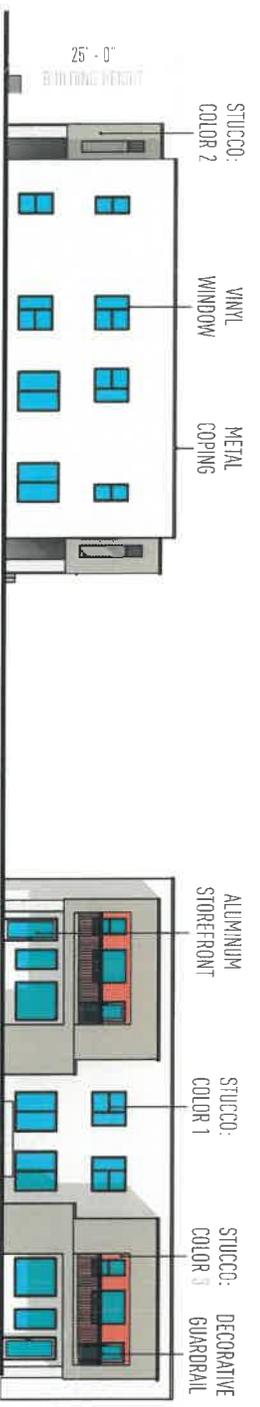
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

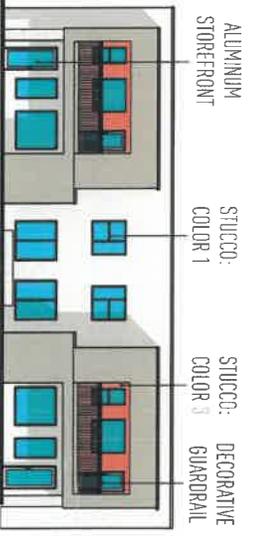
N



(A1) SITE PLAN
1" = 60' 0"



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM AIR STREET

ELEVATIONS



November 19, 2021

ORTIZ MARCOS & CELSA M
3502 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: ORTIZ MARCOS & CELSA M

Mailing Address*: 3502 NORTHFIELD CT NW ALBUQUERQUE NM 87107-2443

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:
Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
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 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
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-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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IDO Interactive Map

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ARCHITECT

ENGINEER

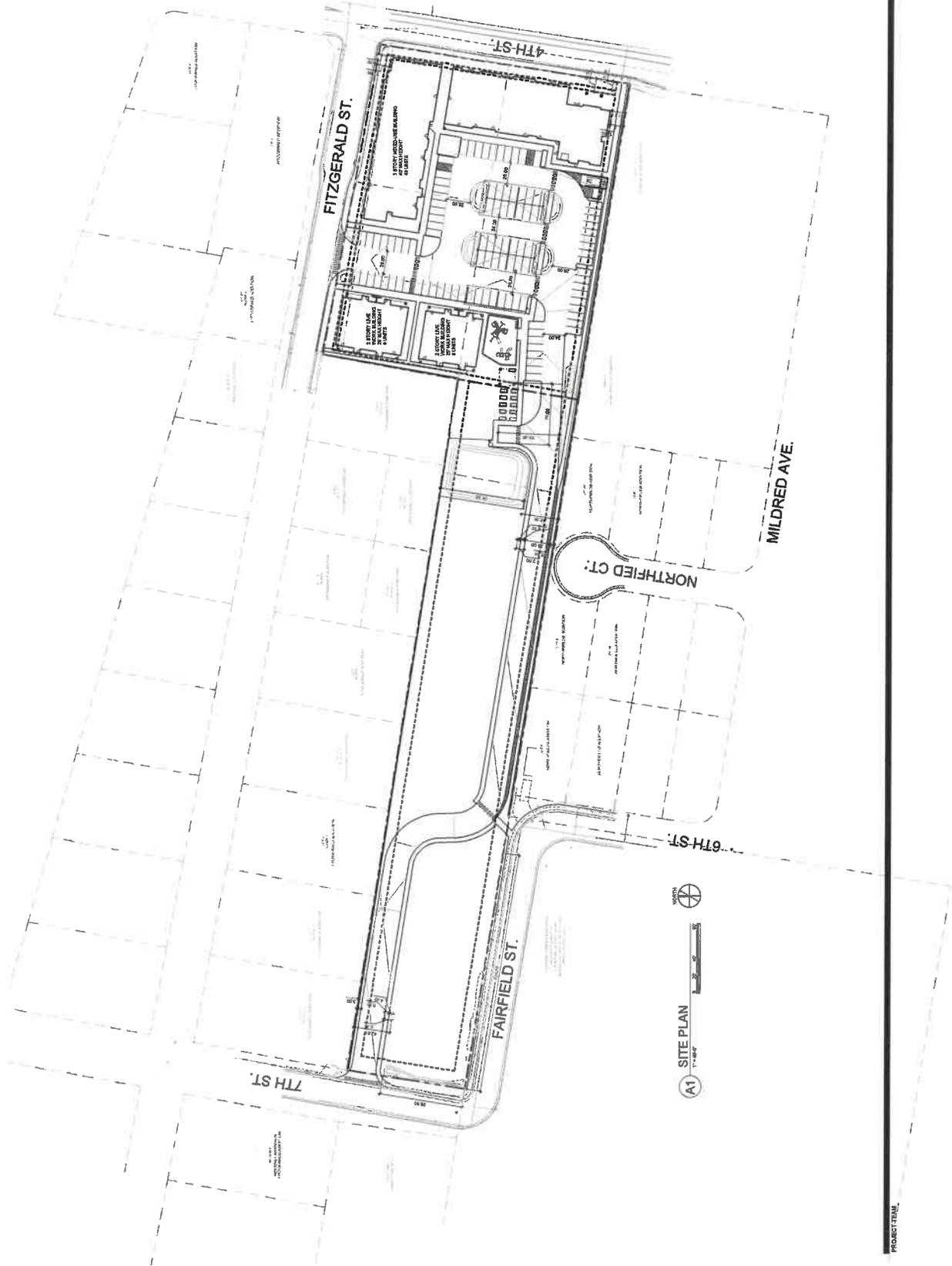
PROJECT

3536 4TH STREET NW, ALBUQUERQUE, NM
CALLE CUARTA

DATE 10/18/21

PROJECT NO. 20-0276

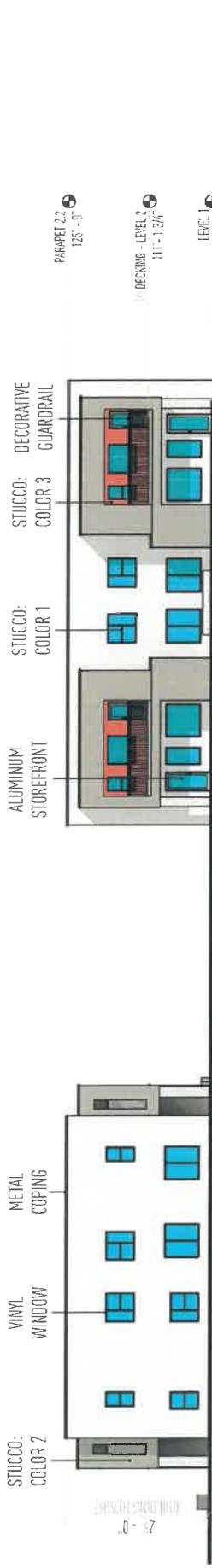
PERMITS PURPOSE



PROJECT TEAM

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



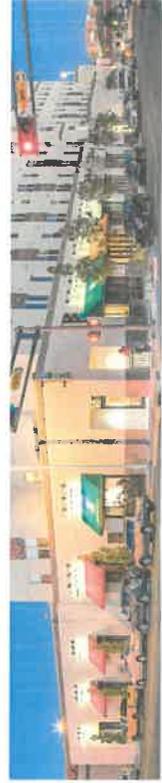
BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

UHER DARRELL LEE JR TRUSTEE RVT
3 DANCING HORSE LN
CORRALES NM 87048

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

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Property Owner within 100 feet*: UHER DARRELL LEE JR TRUSTEE RVT

Mailing Address*: 3 DANCING HORSE LN CORRALES NM 87048

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
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 - Vacation _____ (Easement/Private Way or Public Right-of-way)
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 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
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- d. For residential development*: Maximum number of proposed dwelling units.
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Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
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NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

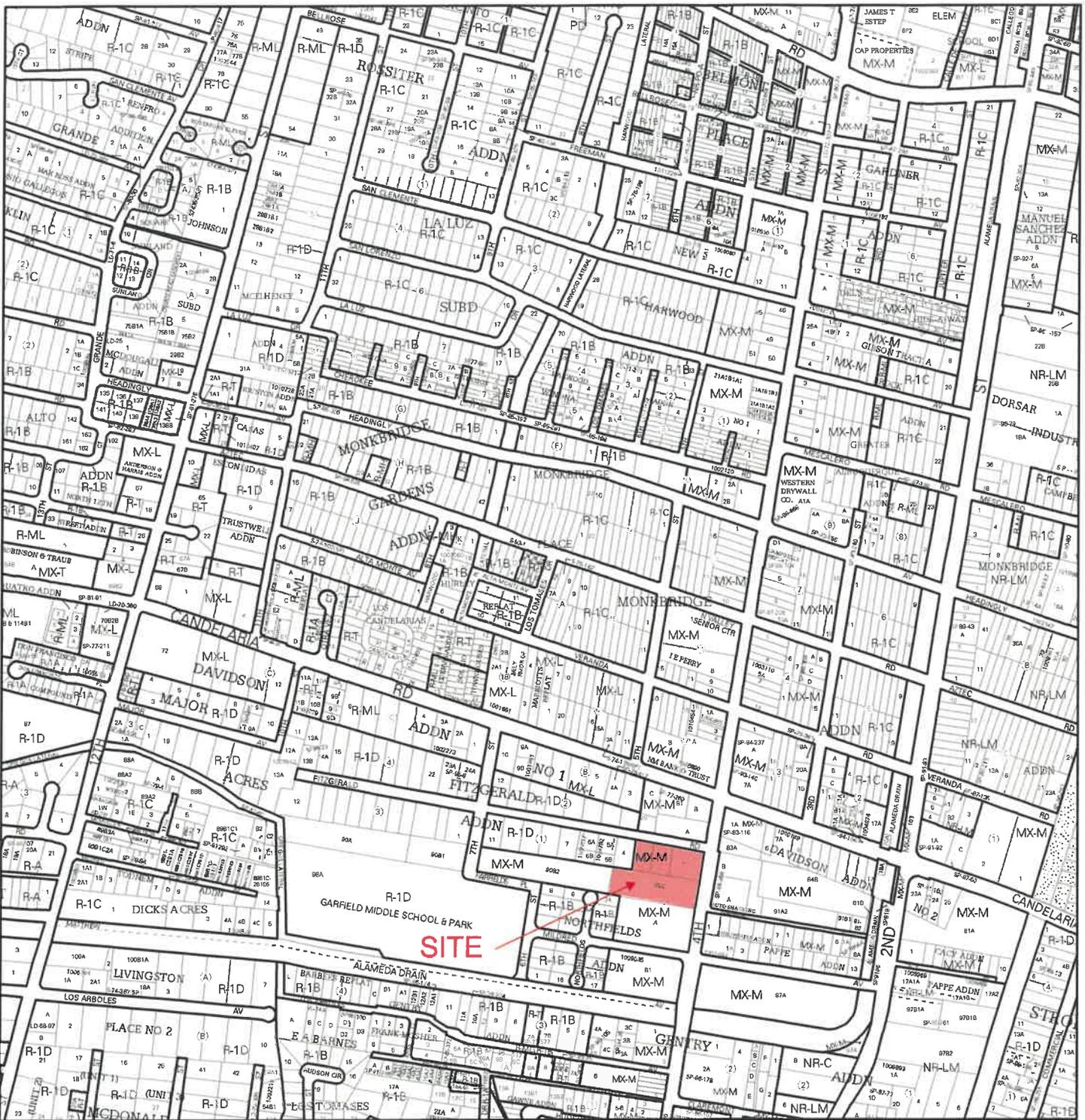
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>



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IDO Zone Atlas May 2018

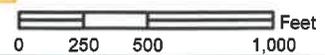


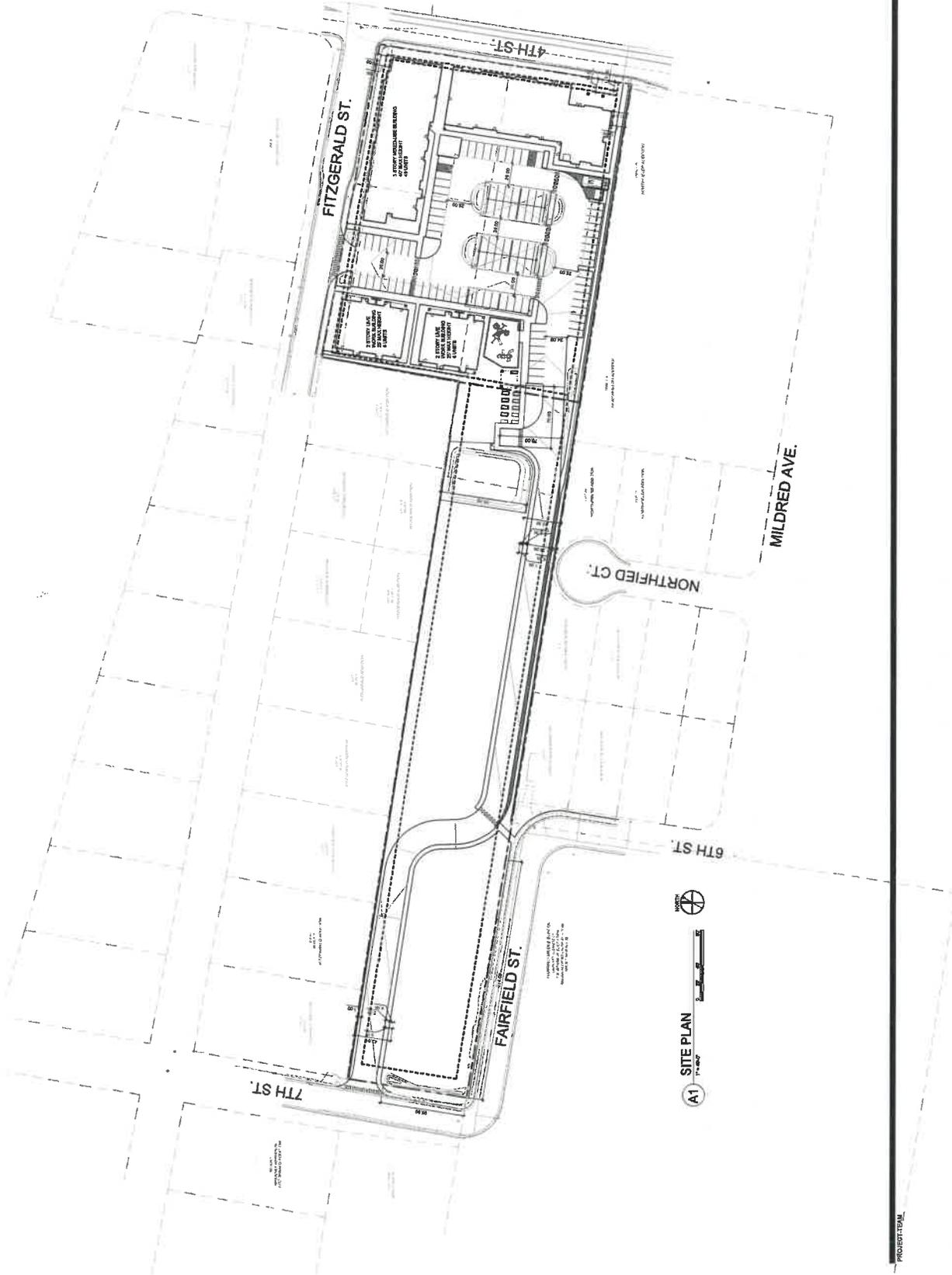
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
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Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





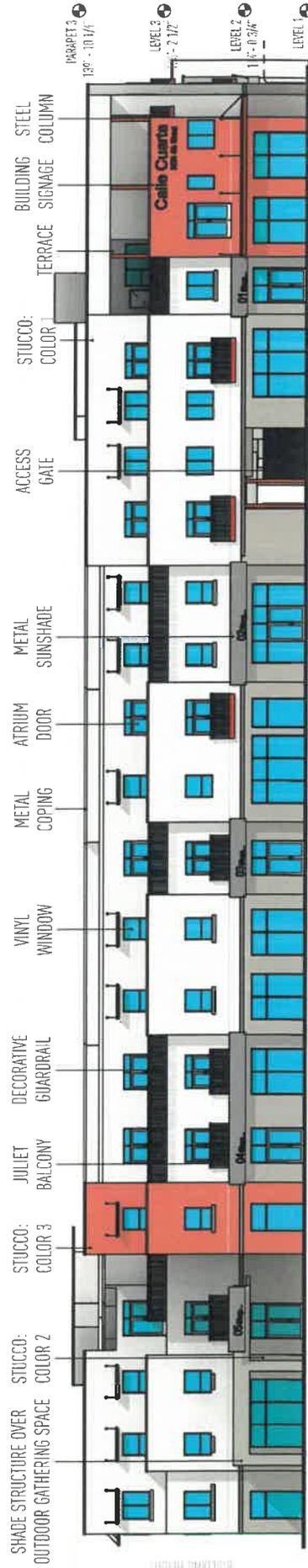
CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

COMMERCIAL PRODUCTS INC
3800 RIO GRANDE BLVD NW
ALBUQUERQUE NM 87107

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: COMMERCIAL PRODUCTS INC

Mailing Address*: 3800 RIO GRANDE BLVD NW ALBUQUERQUE NM 87107

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant

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IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
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**Zone Atlas Page:
G-14-Z**

Gray Shading
Represents Area Outside
of the City Limits

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Feet
0 250 500 1,000

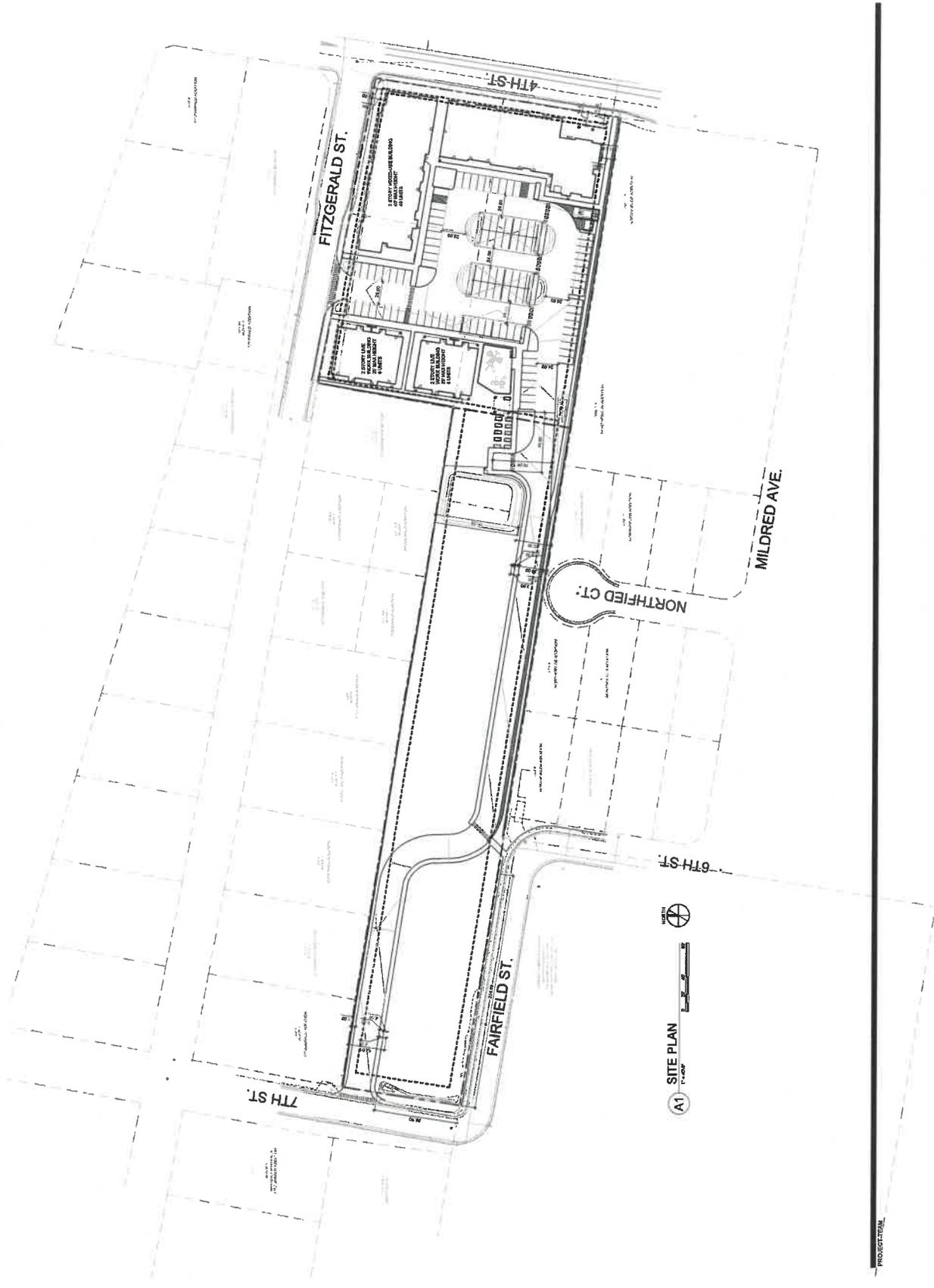
ARCHITECT

ENGINEER

PROJECT

CALLE CUARTA
3535 4TH STREET NW, ALBUQUERQUE, NM

DATE: 10/16/21
PROJECT NO.: 200276
ISSUE: PRELIMINARY

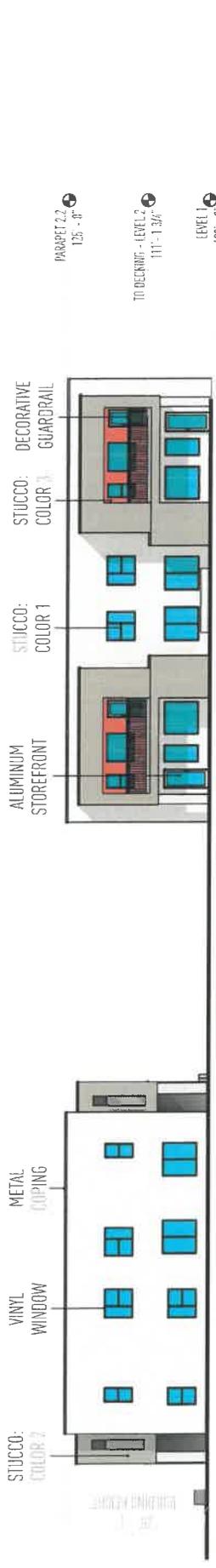


A1 SITE PLAN
1" = 40'

PROJECT/TEAM

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM THE STREET

ELEVATIONS



November 19, 2021

CORONA MARGARET
3510 NORTHFIELD CT NW
ALBUQUERQUE NM 87107-2443

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CORONA MARGARET

Mailing Address*: 3510 NORTHFIELD CT NW ALBUQUERQUE NM 87107-2443

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

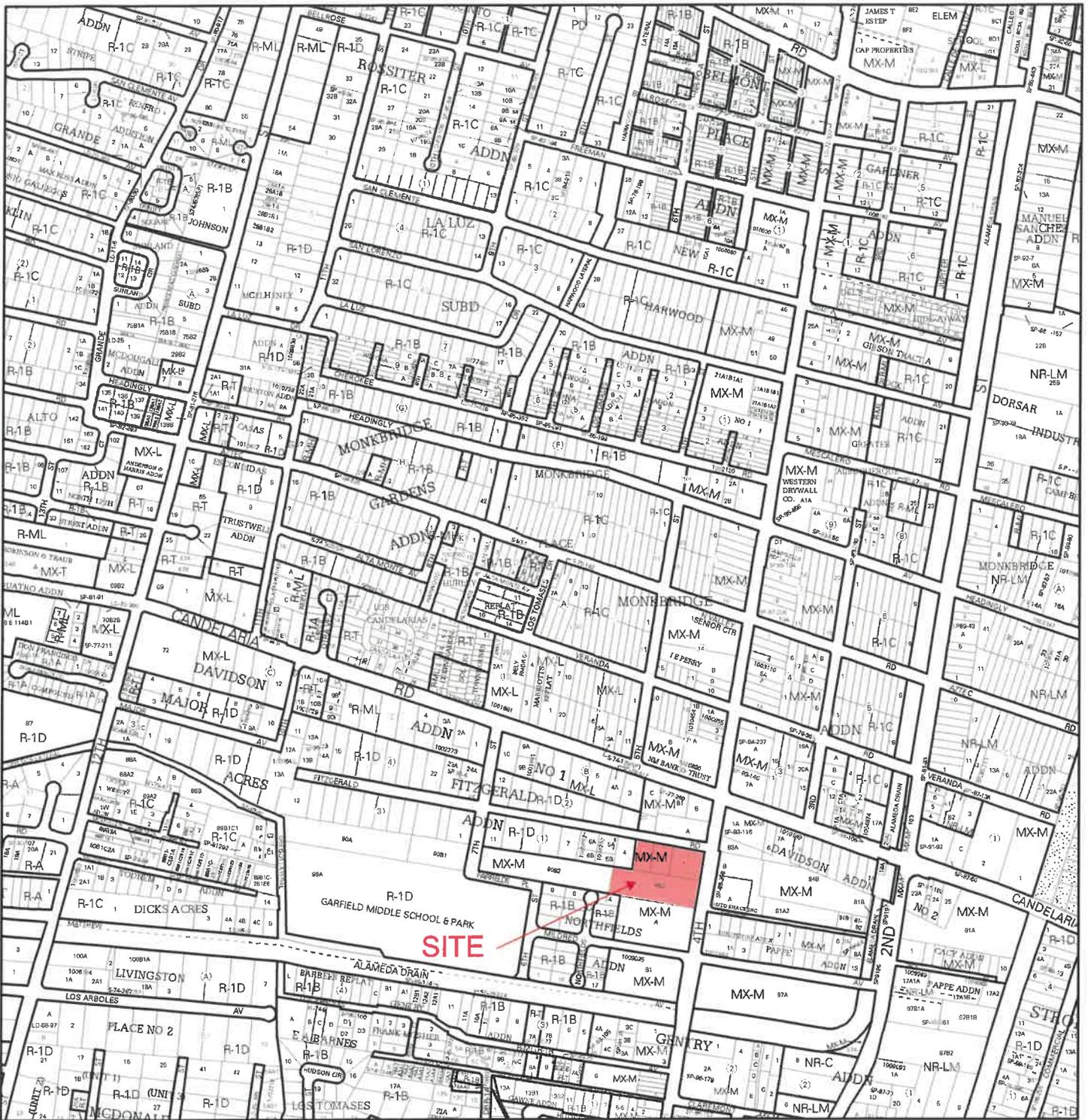
Integrated Development Ordinance (IDO):

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IDO Zone Atlas May 2018

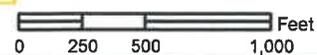


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

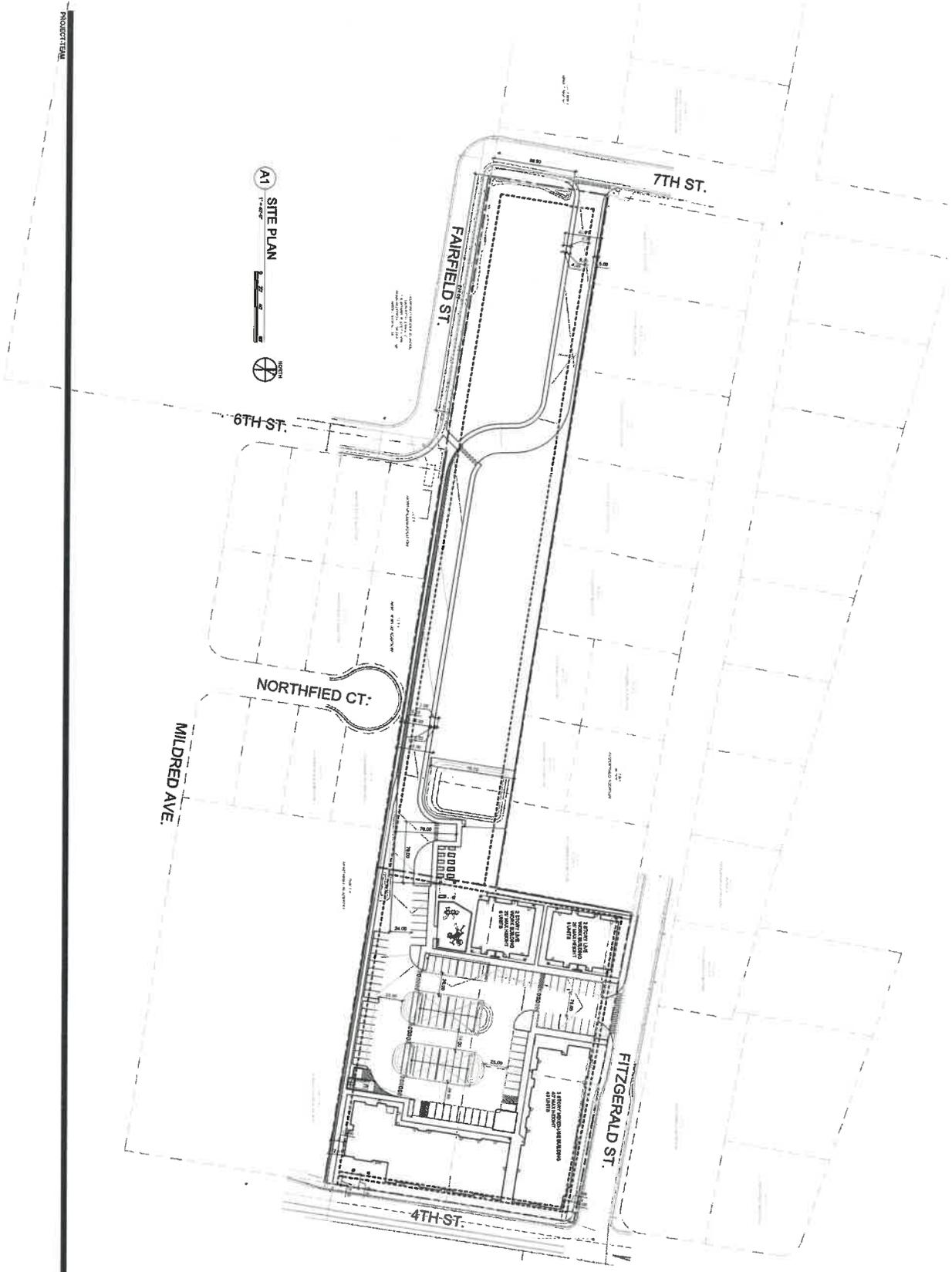


Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



PROJECTION



CALLE CUARTA

3535 4TH STREET NW, ALBUQUERQUE, NM

DEKKER
PERICH
SABATINI

ARCHITECT

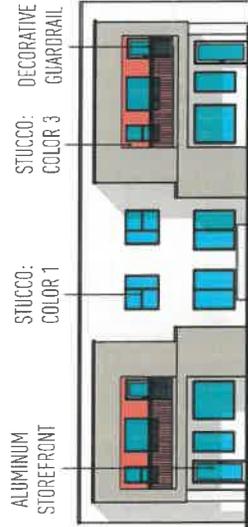
ENGINEER

PRODUCT

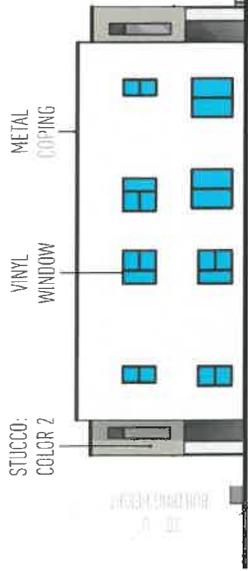
DATE: 09/19/21
 PROJECT NO.: 20-0278
 ISSUE PURPOSE:

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

AYERS JUSTIN C & AYERS STEVE E
516 FITZGERALD RD NW
ALBUQUERQUE NM 87107-2432

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: AYERS JUSTIN C & AYERS STEVE E

Mailing Address*: 516 FITZGERALD RD NW ALBUQUERQUE NM 87107-2432

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini

4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]

- Conditional Use Approval
- Permit _____ (Carport or Wall/Fence – Major)
- Site Plan
- Subdivision _____ (Minor or Major)
- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Other: _____

Summary of project/request¹*: _____

Seeking DRB Approval for a mixed-use development with multi-family

apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Review Board (DRB)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
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-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

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IDO Zone Atlas

May 2018

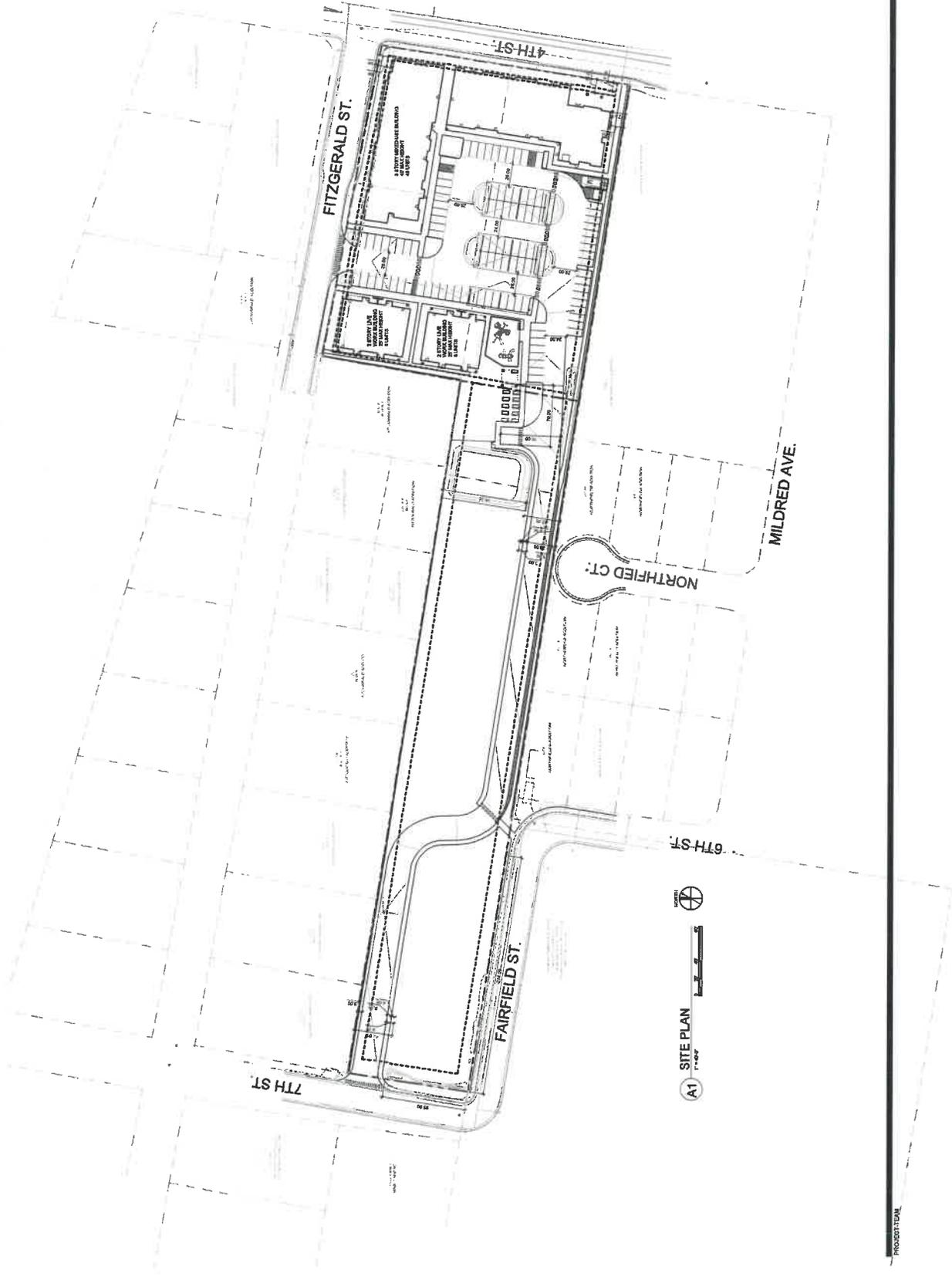
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Zone Atlas Page:

G-14-Z

- Easement
- Escarpment
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Gray Shading Represents Area Outside of the City Limits

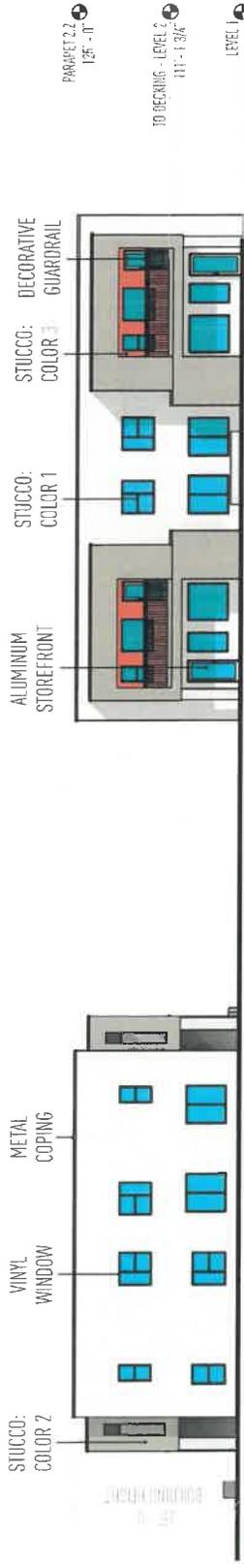


A1 SITE PLAN
1" = 40'

PRODUCTION

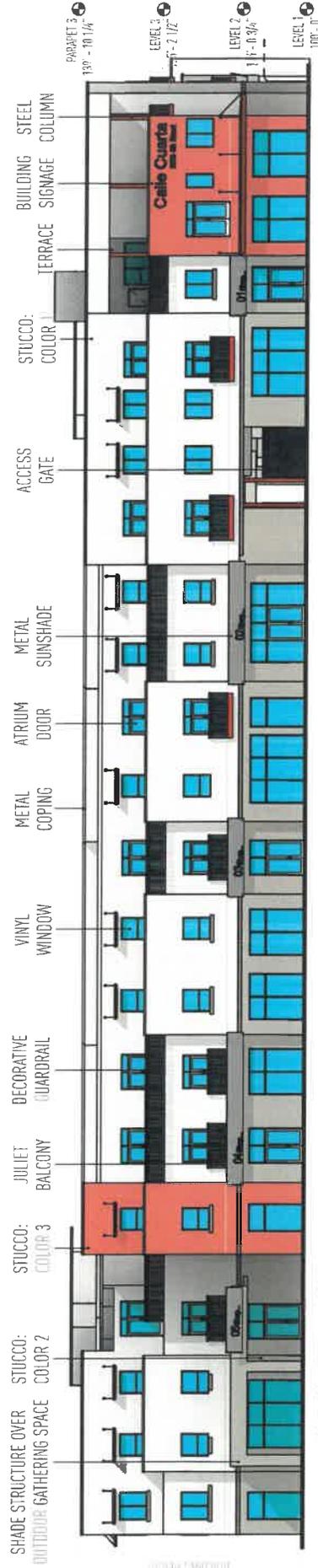
CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

NET 1 L P DELAWARE LIMITED PTR ATTN: AUTOZONE INC DEPT 4040
PO BOX 2198
MEMPHIS TN 38101-2198

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

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Will Gleason
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Mailed to a Property Owner**

Date of Notice*: November 19, 2021

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Property Owner within 100 feet*: NET 1 L P DELAWARE LIMITED PTR ATTN:
AUTOZONE INC DEPT 4040

Mailing Address*: PO BOX 2198 MEMPHIS TN 38101-2198

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
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 - Permit _____ (Carport or Wall/Fence – Major)
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 - Waiver
 - Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

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 - Development Review Board (DRB)
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 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
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 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
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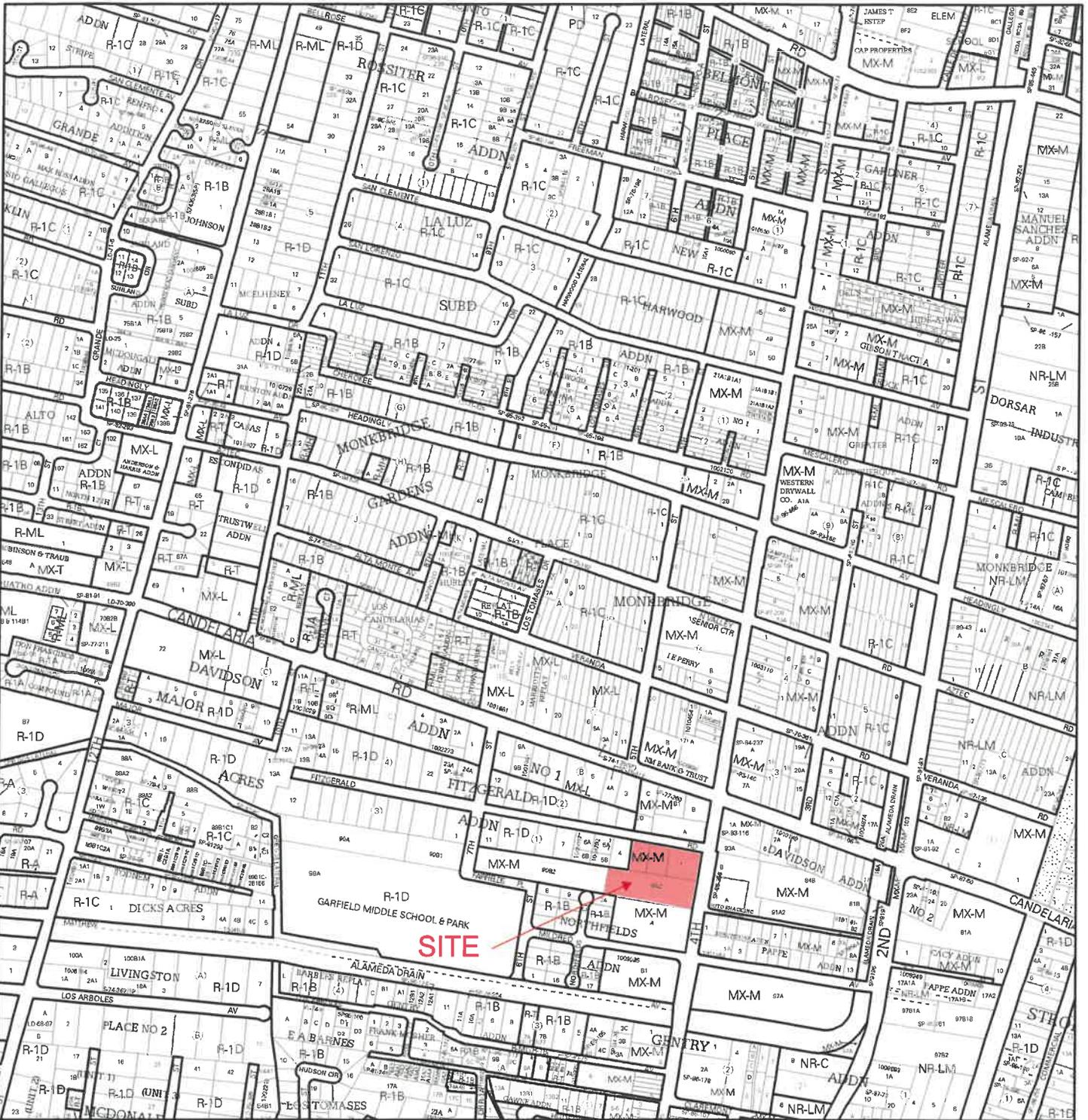
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IDO Zone Atlas May 2018



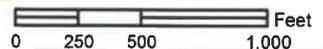
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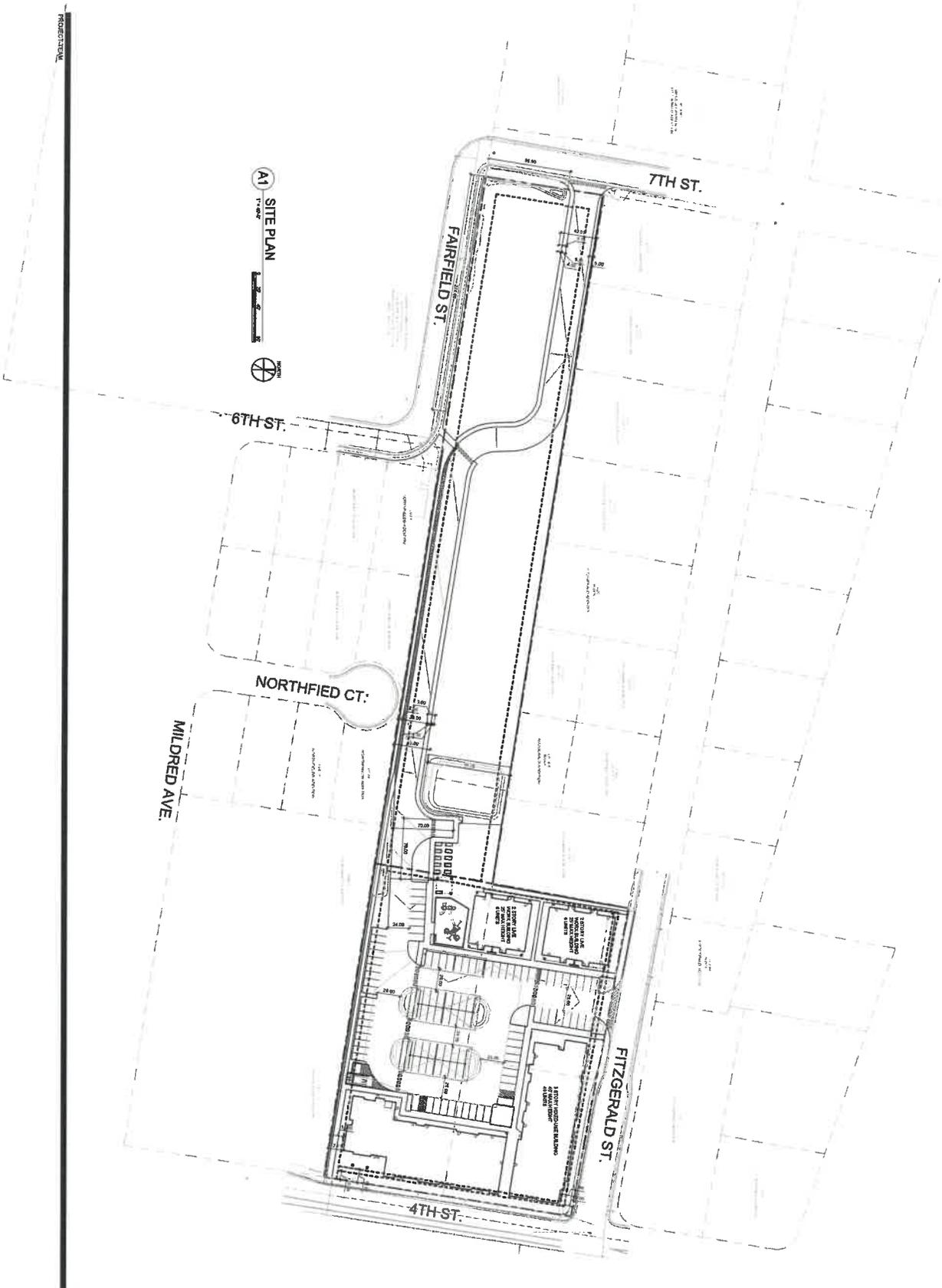


Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





PROJECT NO. 25-2279
 DATE 10/18/21
 PROJECT NO. 25-2279
 SHEET NUMBER 002

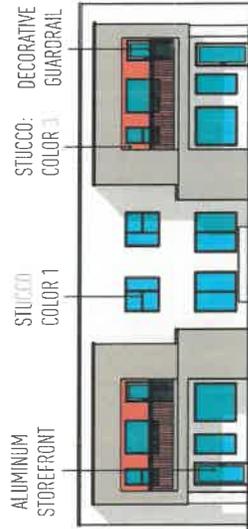
CALLE CUARTA
 3535 4TH STREET NW, ALBUQUERQUE, NM

PROJECT
 ENGINEER
 ARCHITECT

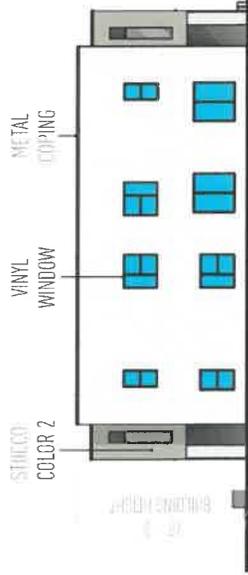
DEKKER
PERICH
SABATINI

CALLE CUARTA

8535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

J W BREWER TIRE COMPANY INC C/O TIRE DISTRIBUTION SYS INC
441 DONELSON PIKE SUITE 310
NASHVILLE TN 37214-6600

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

J W BREWER TIRE COMPANY INC C/O
Property Owner within 100 feet*: TIRE DISTRIBUTION SYS INC

Mailing Address*: 441 DONELSON PIKE SUITE 310 NASHVILLE TN 37214-6600

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini

4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]

- Conditional Use Approval
- Permit _____ (Carport or Wall/Fence – Major)
- Site Plan
- Subdivision _____ (Minor or Major)
- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Other: _____

Summary of project/request^{1*}:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Review Board (DRB)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

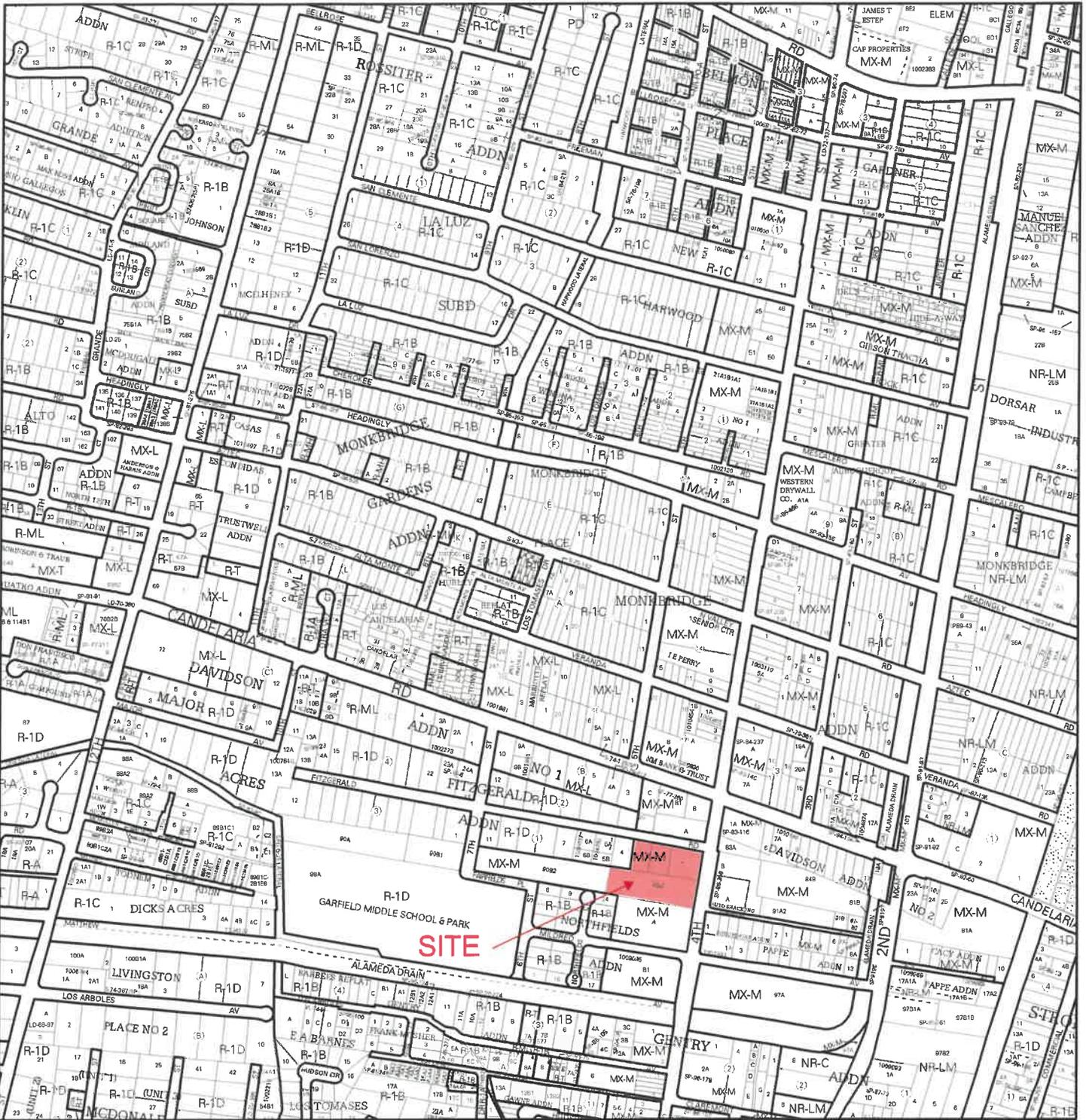
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

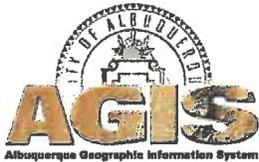
<https://tinurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

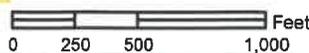


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



Gray Shading
Represents Area Outside
of the City Limits



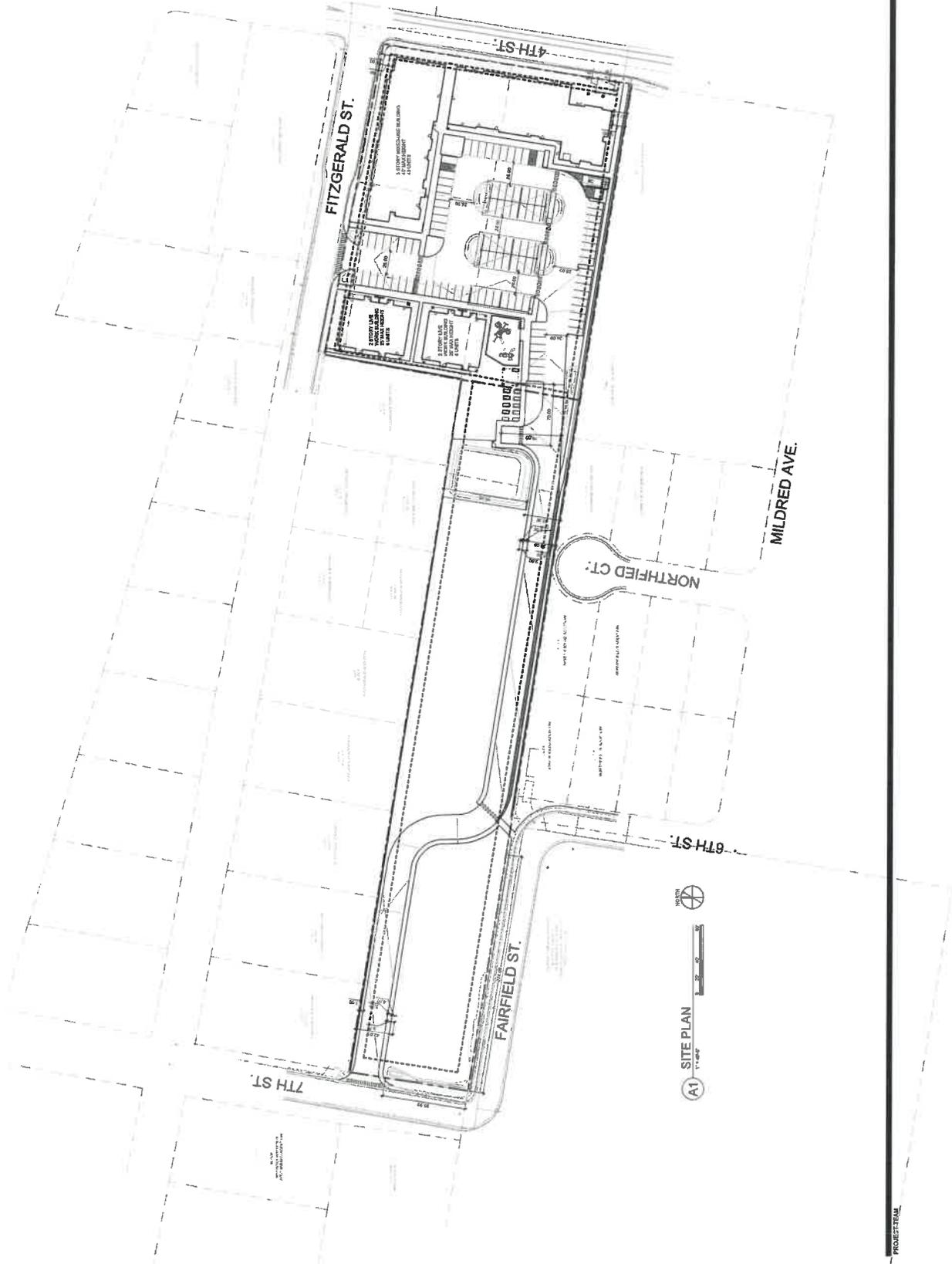
ARCHITECT

ENGINEER

PROJECT

3535 4TH STREET NW, ALBUQUERQUE, NM
CALLE CUARTA

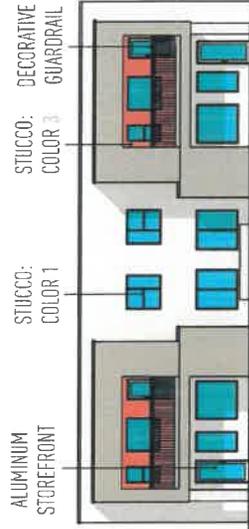
DATE: 10/19/21
 PROJECT NO.: 204278
 SHEET PURPOSE:



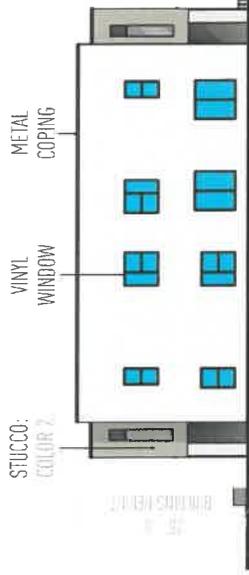
PROJECT/TEAM

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

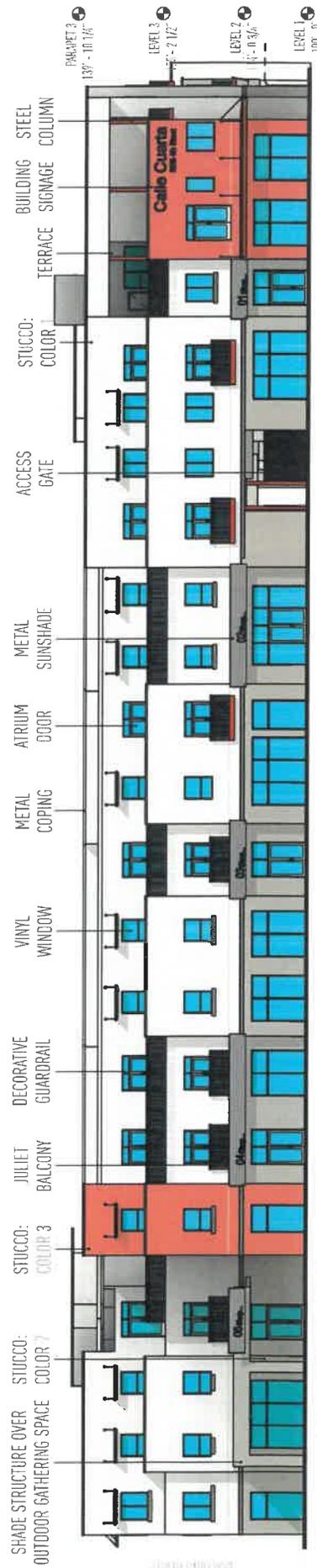


BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)

PARAPET 2.2
1.25' - 0"

TO DECKING - LEVEL 2
1.11' - 1.36'

LEVEL 1
1.00' - 0"



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

GARCIA ISMAEL A & RUTH M CO-TRUSTEES GARCIA RVT
PO BOX 218
CHIMAYO NM 87522-0218

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: GARCIA ISMAEL A & RUTH M
CO-TRUSTEES GARCIA RVT

Mailing Address*: PO BOX 218 CHIMAYO NM 87522-0218

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:
Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinycloud.com/IDOzoningmap>

⁵ Available here: <https://tinycloud.com/idozoningmap>



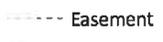
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-14-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

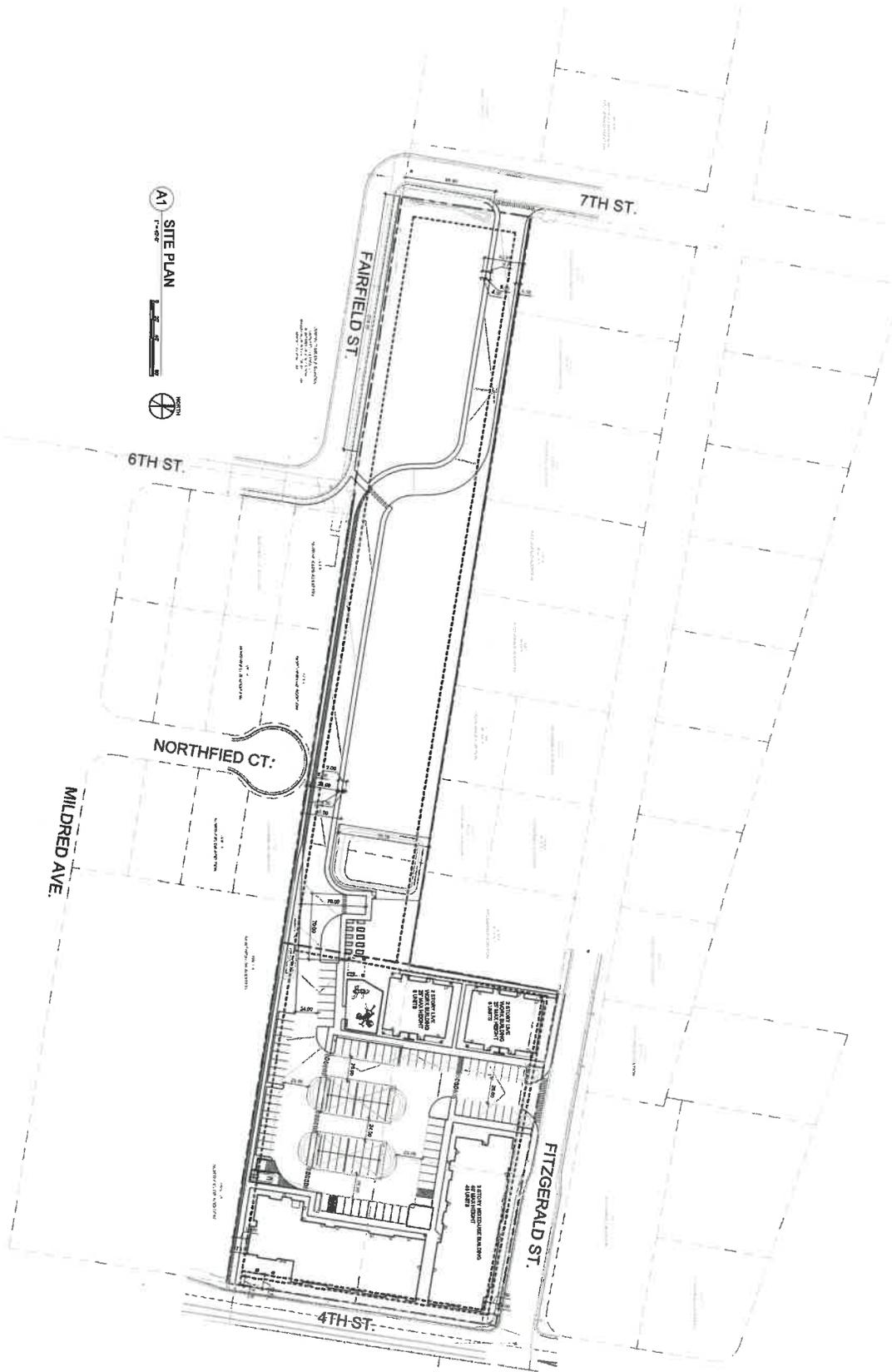
Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet



PROJECT ID: A1

A1 SITE PLAN



DATE: 10/18/21
PROJECT NO.: 20-0276
ISSUE PURPOSE:

CALLE CUARTA
3535 4TH STREET NW, ALBUQUERQUE, NM

PROJECT

ENGINEER

ARCHITECT



CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM THE STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

AMERICAN LEGION POST 100
424 CANDELARIA RD NW
ALBUQUERQUE NM 87107-2402

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: AMERICAN LEGION POST 100

Mailing Address*: 424 CANDELARIA RD NW ALBUQUERQUE NM 87107-2402

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. For residential development*: Maximum number of proposed dwelling units.
- e. For non-residential development*:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



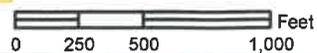
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

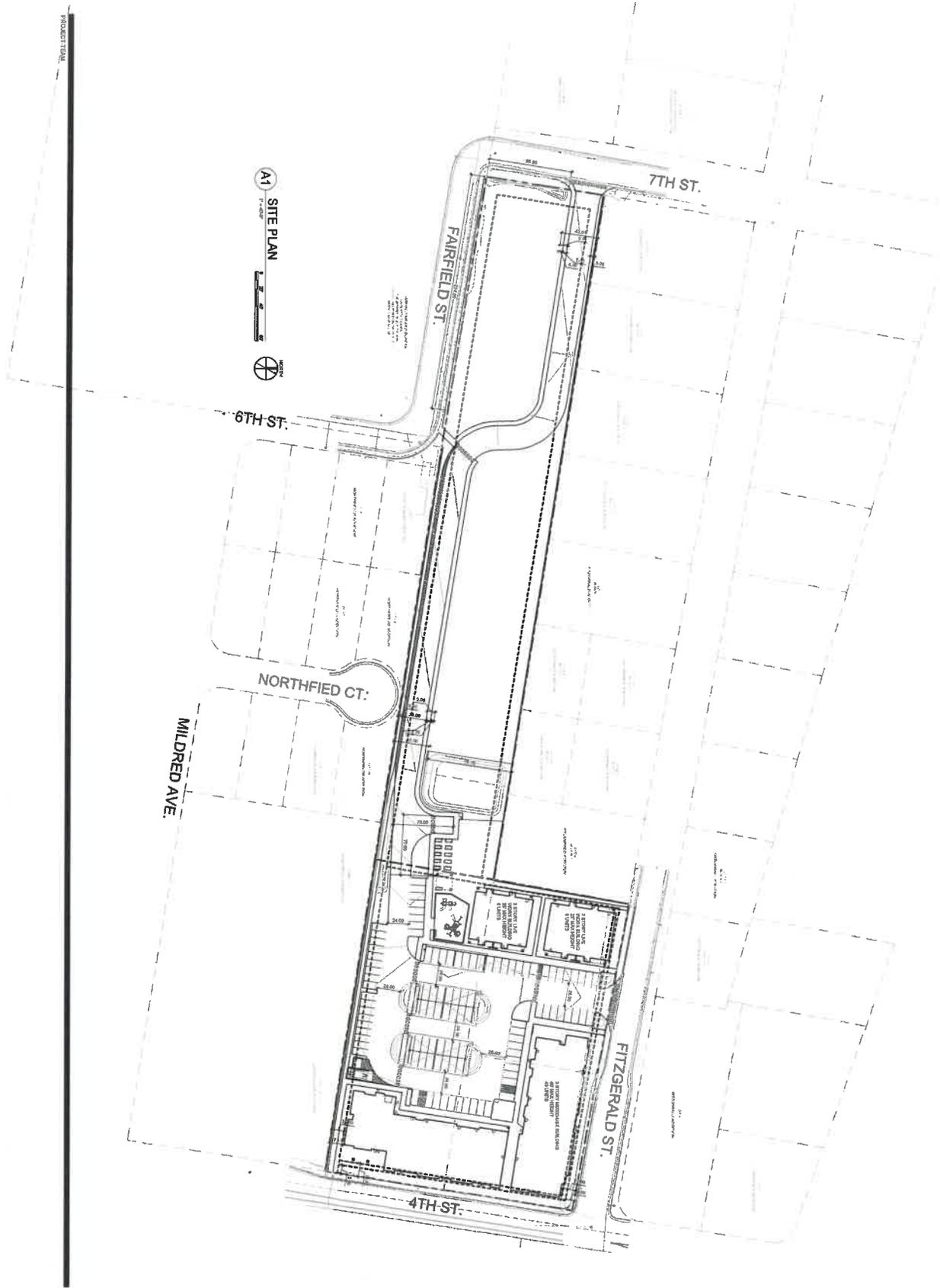


Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits





A1 SITE PLAN



DATE: 10/14/21
 PROJECT NO.: 20-0278
 ISSUE PURPOSE:

CALLE CUARTA
 3535 4TH STREET NW, ALBUQUERQUE, NM

DEKKER
PERICH
SABATINI

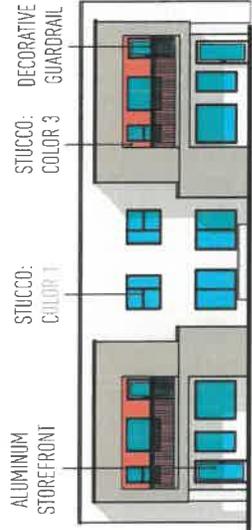
ARCHITECT

ENGINEER

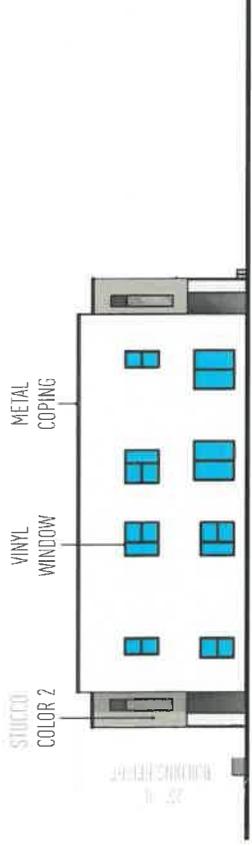
PROJECT

CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)



BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CITY OF ALBUQUERQUE

Mailing Address*: PO BOX 1293 ALBUQUERQUE NM 87103

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW

Location Description _____

2. Property Owner* City of Albuquerque

3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini

4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]

- Conditional Use Approval
- Permit _____ (Carport or Wall/Fence – Major)
- Site Plan
- Subdivision _____ (Minor or Major)
- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Other: _____

Summary of project/request¹*: _____

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE)
- Development Review Board (DRB)
- Landmarks Commission (LC)
- Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

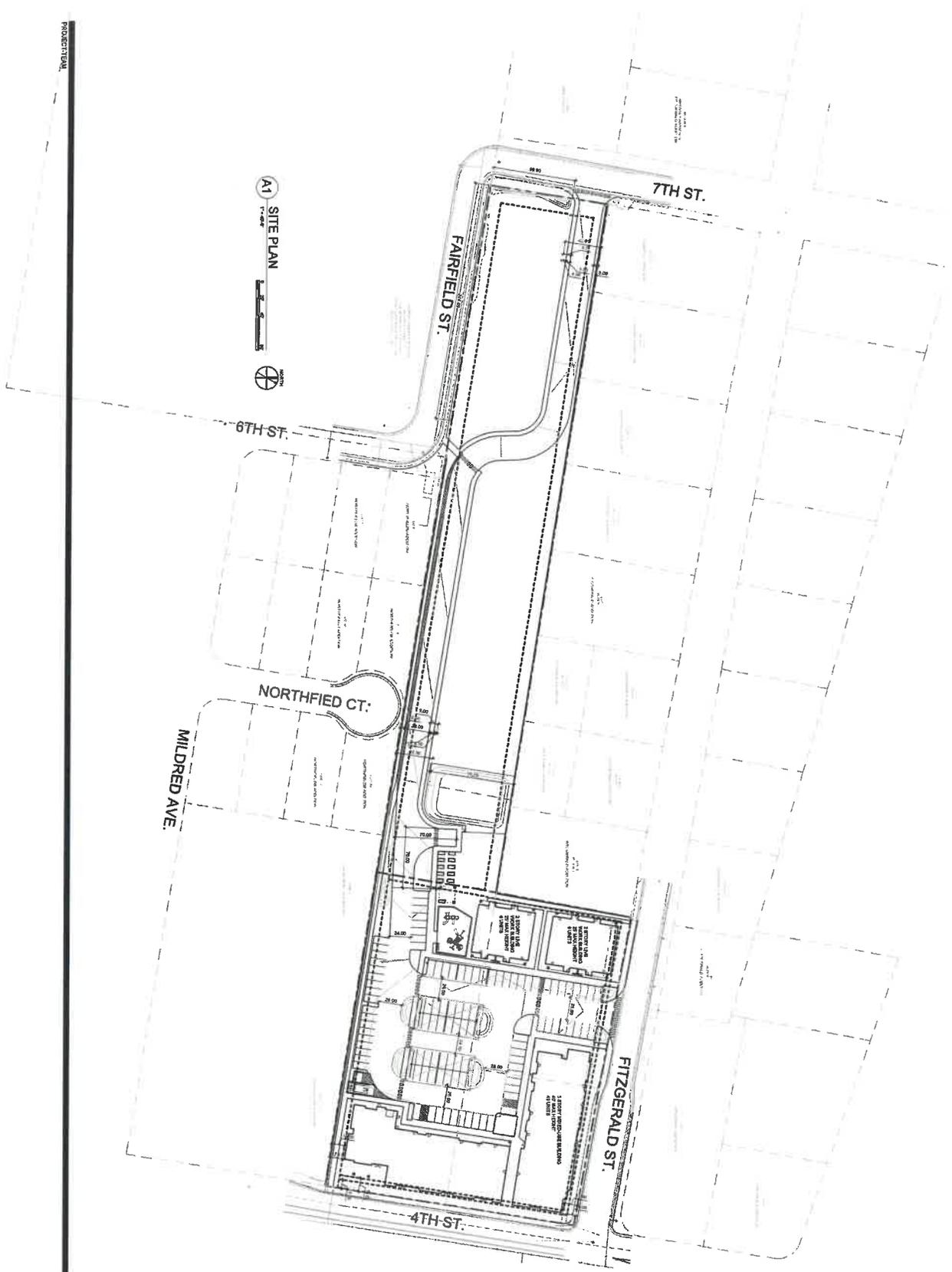
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinyurl.com/idozoningmap>

PROSPECTOR



6TH ST.

7TH ST.

FAIRFIELD ST.

NORTHFIED CT.

MILDRED AVE.

FITZGERALD ST.

4TH ST.

DEKKER
PERICH
SABATINI

CALLE CUARTA

3535 4TH STREET NW, ALBUQUERQUE, NM

DATE: 10/1/2011
 PROJECT NO.: 200276
 ISSUE NUMBER:

ARCHITECT:
 ENGINEER:
 PROJECT:

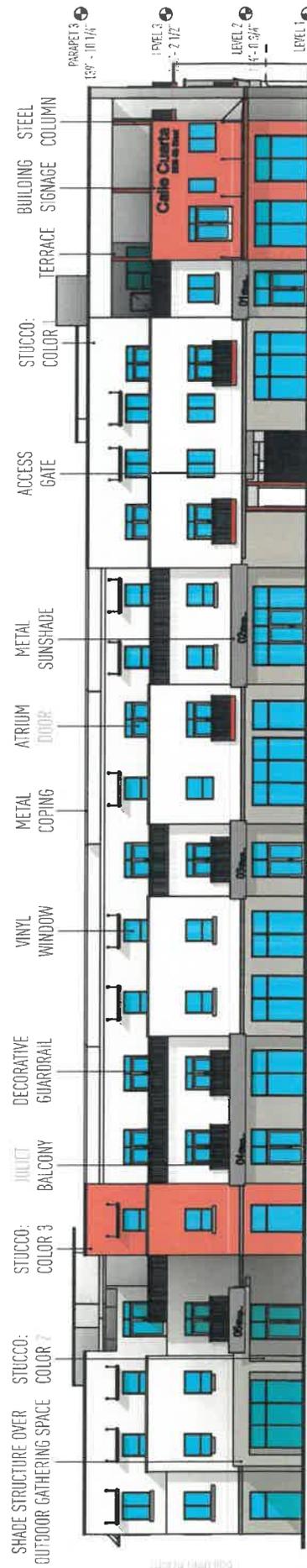
CALLE CUARTA

3535 4th St. NW, 420 Fitzgerald Rd. NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

The City of Albuquerque and YES Housing, in coordination with Dekker/Perich/Sabatini, are seeking site plan approval in order to facilitate the construction of Calle Cuarta, a multi-family and mixed-use project located at 3525 4th St NW and 420 Fitzgerald Rd NW. This multi-family housing includes 61 total units that include a mix of 1-bedroom, 2-bedroom, and 3-bedroom units in addition to 4 live-work units. The ground floor of the building that fronts 4th St and Fitzgerald Rd will provide commercial spaces. The main building will be 3 stories with a maximum building height of 40 feet while the live-work buildings will be 2 stories with a maximum building height of 25 feet. The multi-family housing is mixed-income and includes amenities such as a leasing office, kitchenette, lounge, gym, raised garden beds, play area for children, small park, bike path, and rooftop terrace.

In accordance with IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **Wednesday, December 15 at 9:00 am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>

Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 19, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Property Owner within 100 feet*: CITY OF ALBUQUERQUE

Mailing Address*: PO BOX 2248 ALBUQUERQUE NM 87103-2248

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

Seeking DRB Approval for a mixed-use development with multi-family

apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 2.1 acres
 2. IDO Zone District MX-M
 3. Overlay Zone(s) [if applicable] Character Protection Overlay Zone, North 4th Corridor - CPO-9
 4. Center or Corridor Area [if applicable] Main Street
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

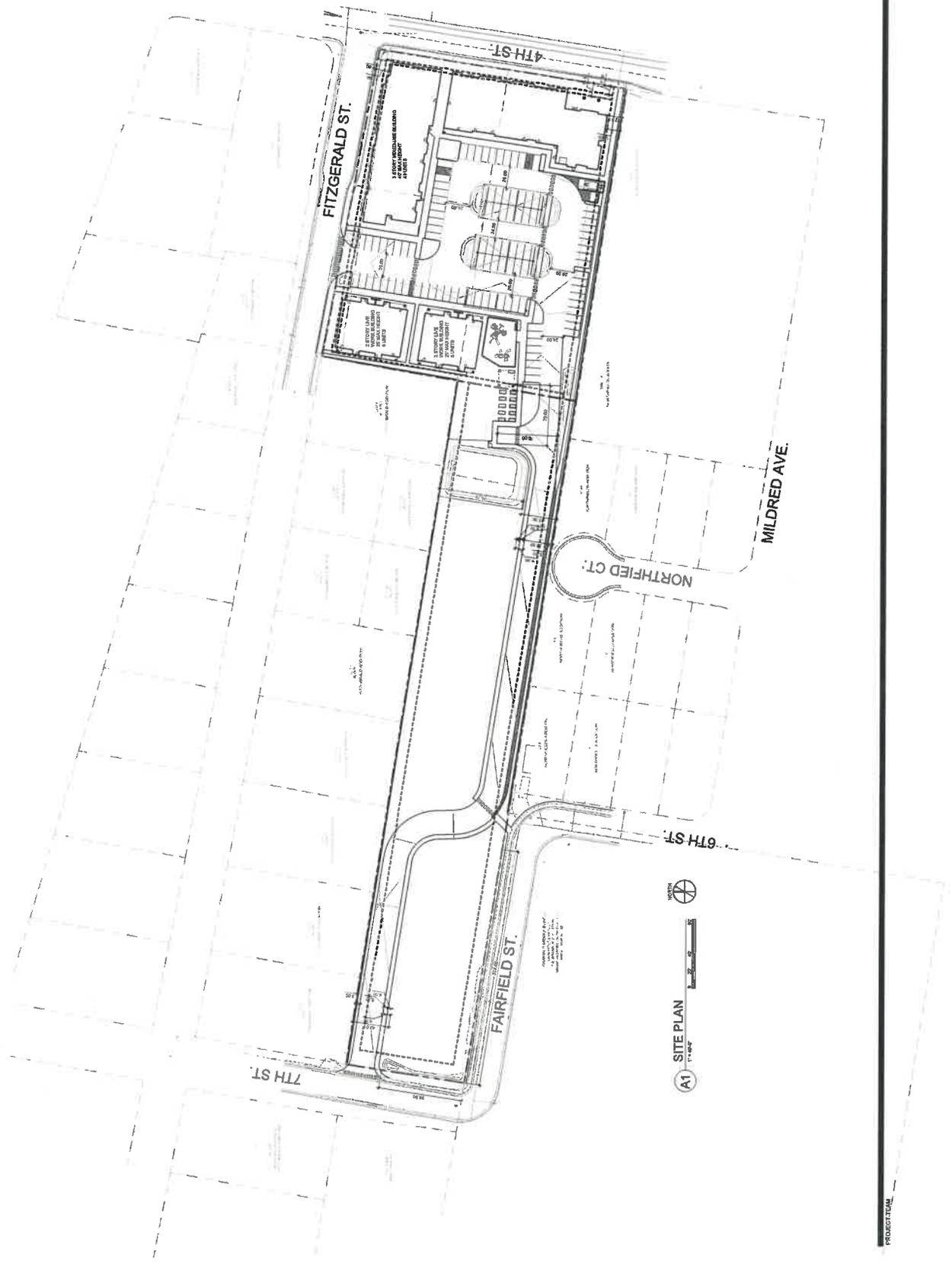
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

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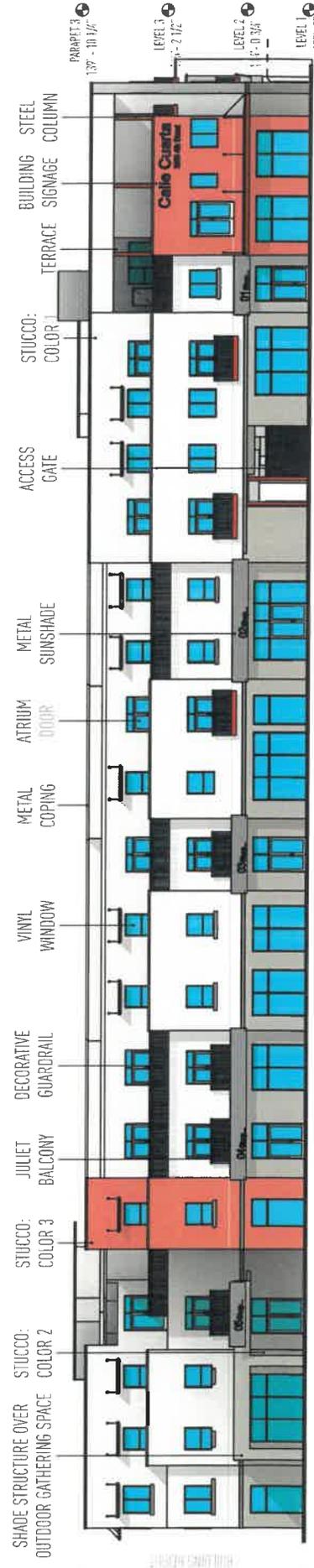
CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

HORNE THOMAS B & SUSAN S TRUSTEES HORNE LVT C/O OREILLY AUTO PARTS
PO BOX 9167
SPRINGFIELD MO 65801-9167

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

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Enclosed you will find a site plan, building elevations, and zone atlas page. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at WillG@dpsdesign.org.

Sincerely,



Will Gleason
Agent for YES Housing

Attachments: Site Plan, Zone Atlas Page, Building Elevations

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Mailed to a Property Owner**

Date of Notice*: November 19, 2021

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Property Owner within 100 feet*: HORNE THOMAS B & SUSAN S TRUSTEES HORNE
LVT C/O OREILLY AUTO PARTS

Mailing Address*: PO BOX 9167 SPRINGFIELD MO 65801-9167

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

1. Subject Property Address* 3525 4th St NW and 420 Fitzgerald Rd NW
Location Description _____
2. Property Owner* City of Albuquerque
3. Agent/Applicant* [if applicable] Will Gleason, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO Table 6-1-1 [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Seeking DRB Approval for a mixed-use development with multi-family
apartments, live/work units, and commercial space.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

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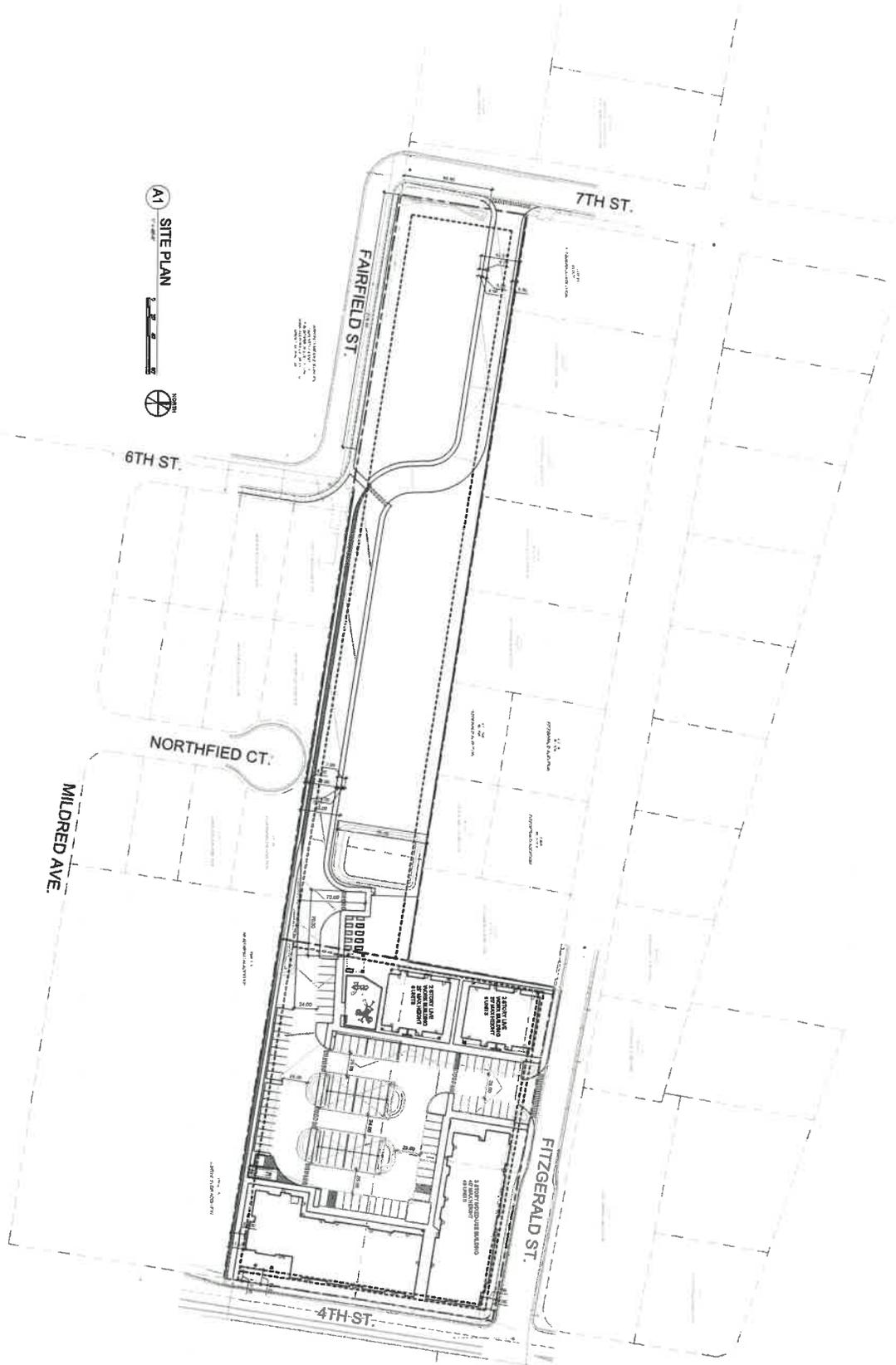
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

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PROJECT 2014



A1 SITE PLAN



6TH ST.

7TH ST.

FAIRFIELD ST.

NORTHFIED CT.

MILDRED AVE.

FITZGERALD ST.

4TH ST.

DEKKER
PERICH
SABATINI

ARCHITECT

ENGINEER

PLUMBER

CALLE CUARTA

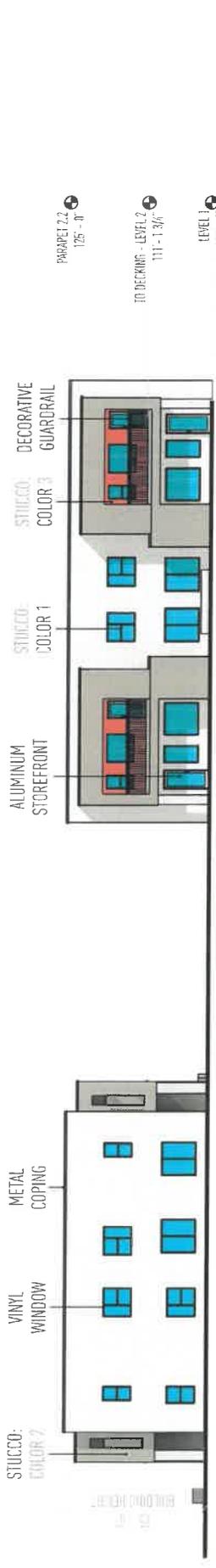
3535 4TH STREET NW, ALBUQUERQUE, NM

DATE: 10/1/14
 PROJECT NO.: 25-4278
 ISSUE: RMP-02B

WORK:

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

November 19, 2021

BLACK HARRISON E JR & ELIZABETH A
1701 WHITE CLOUD NE
ALBUQUERQUE NM 87112

**RE: Request for Approval of Site Plan – DRB
Calle Cuarta – Multi-Family/Mixed-Use
3525 4th St NW and 420 Fitzgerald Rd NW**

Dear Property Owner,

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Property Owner within 100 feet*: BLACK HARRISON E JR & ELIZABETH A

Mailing Address*: 1701 WHITE CLOUD NE ALBUQUERQUE NM 87112

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

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Location Description _____
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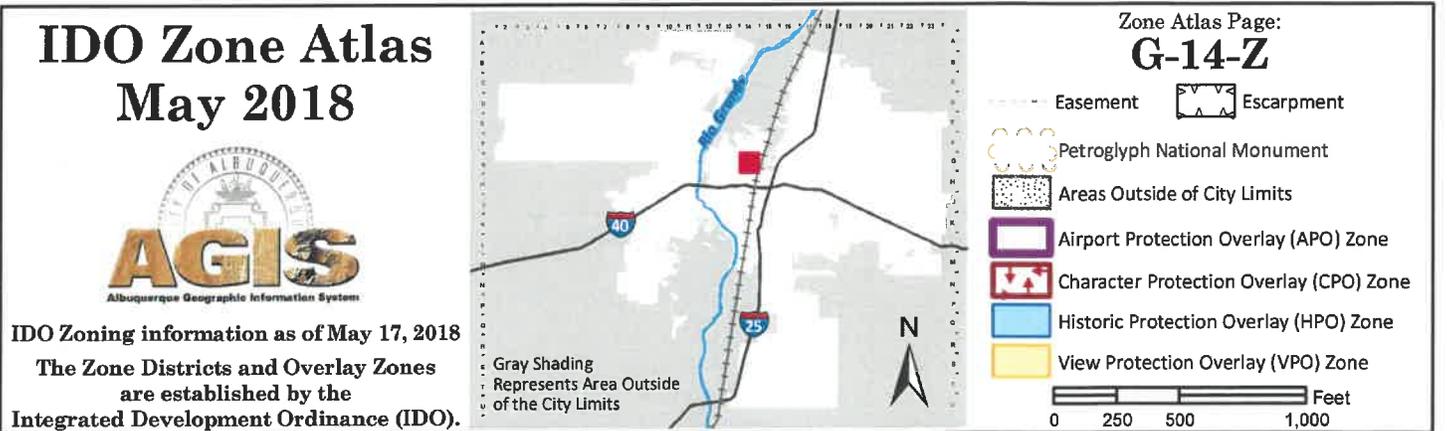
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

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For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>



IDO Zoning Atlas May 2018

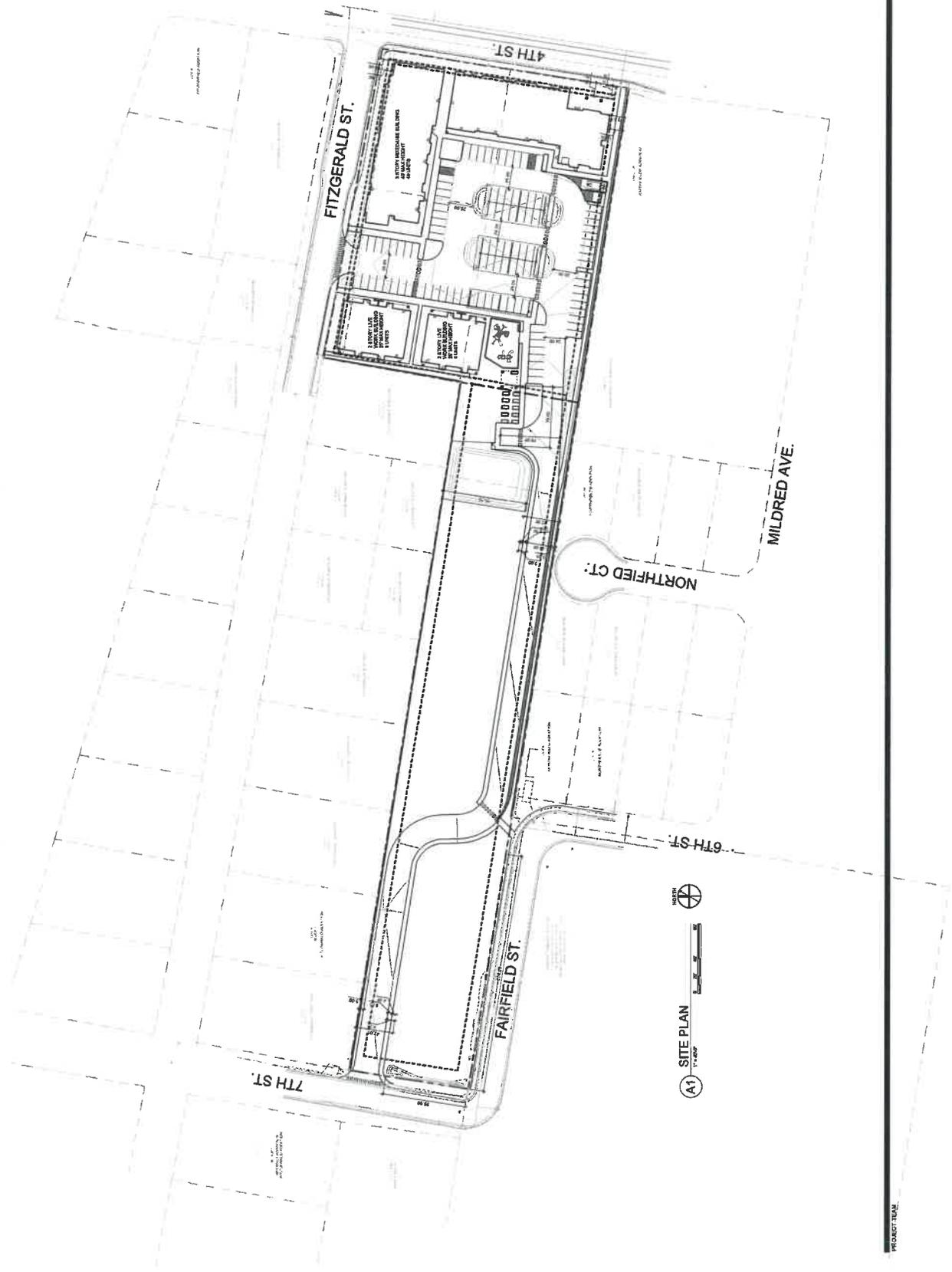


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page: G-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

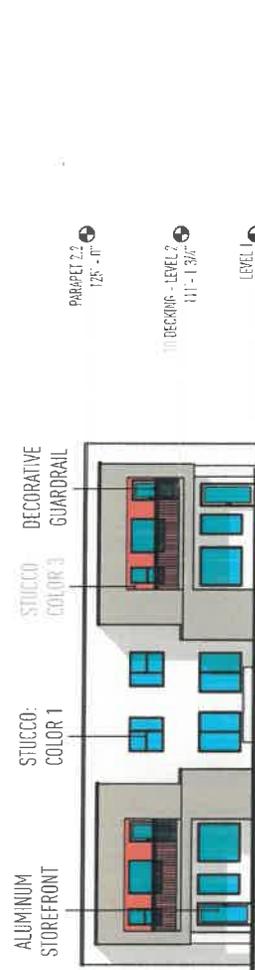
0 250 500 1,000 Feet



(A1) SITE PLAN
1" = 40'

CALLE CUARTA

3535 4th St NW, 420 Fitzgerald Rd NW



BUILDING B - NORTH ELEVATION (BUILDING C SIMILAR)

BUILDING B - EAST ELEVATION (BUILDING C SIMILAR)



BUILDING A - EAST ELEVATION FROM 4TH STREET

ELEVATIONS



DEKKER
PERICH
SABATINI

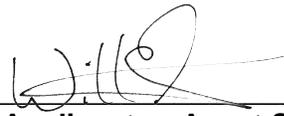
12 COMPLETE SITE PLAN CHECKLIST

SITE PLAN CHECKLIST

Project #: Calle Cuarta Multi-Family Apartments Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 11/12/2021
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

13 SITE PLAN AND RELATED DRAWINGS

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

City Engineer/Hydrology _____ Date _____

Code Enforcement _____ Date _____

*Environmental Health Department (conditional) _____ Date _____

Solid Waste Management _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

*Environmental Health, if necessary

2/16/2018

LEGEND

- LANDSCAPE AREA
HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4/SDP1.2
PROPERTY LINE
FIRE HYDRANT
POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
BIKE RACK
SIDEWALK RAMP (ARROW POINTS DOWN)
TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
6" TALL DECORATIVE METAL FENCE
ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2.
COMPACT PARKING, REF: D5/SDP1.3
LIGHT POLE 25'-0" HEIGHT
6" BOLLARD WITH SIGN
6" WIDE PAINTED CROSSWALK, SEE A4/SDP1.2

VICINITY MAP



SHEET KEYED NOTES

- 1. TRASH COMPACTOR, SEE C1/SDP1.2
2. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
3. CONCRETE CURB & GUTTER, SEE A2/SDP1.2
4. 6" WIDE CONCRETE SIDEWALK SEE B4/SDP1.2
5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
6. 10' MIN, 15' MAX BUILDING SETBACK
7. 15' REAR SETBACK
8. ADA PARKING, SEE A3/SDP1.2
9. ACCESSIBLE RAMP, SEE B3/SDP1.2
10. ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 2446
11. MONUMENT SIGN SEE C4/SDP1.2
12. OUTDOOR GATHERING AREA WITH PLAYGROUND
13. COVERED PARKING

AMENITIES

AMENITIES ON-SITE WILL INCLUDE COVERED PARKING SPACES, LEASING OFFICE, MAIL AND PACKAGE CENTER, AND BIKE STORAGE ROOM. THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND LANDSCAPING.

OPEN SPACE CALCULATIONS

Table with 3 columns: UNIT TYPE, DESCRIPTION, GSF, #UNITS, TOTAL. Includes rows for USABLE OPEN SPACE, 1 BD, 2 BD, 3 BD, and REQUIRED OPEN SPACE = 16,040 SF.

UNIT DATA

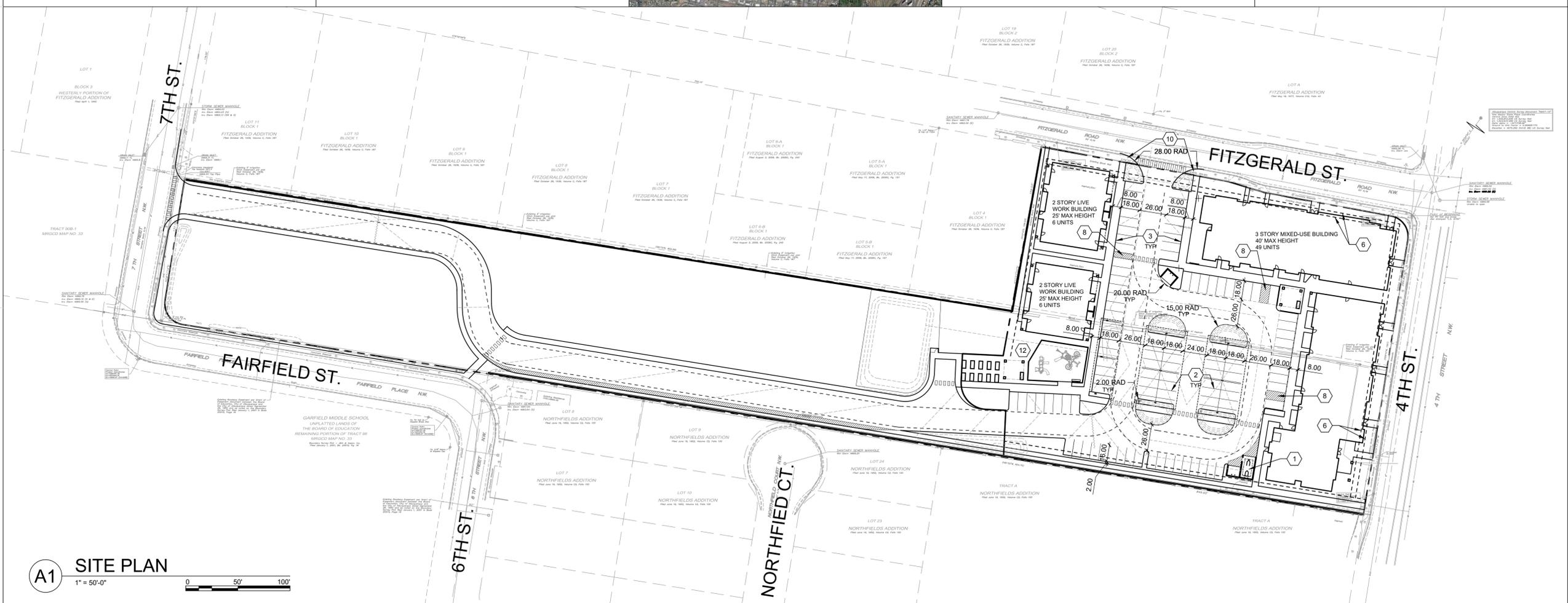
Table with 5 columns: UNIT TYPE, DESCRIPTION, GSF, #UNITS, TOTAL. Lists unit types S1, A1, A2, B1, B2, C1 and their respective specifications.

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING.
G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
I. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING: IDO - MIXED USE - MEDIUM INTENSITY ZONING DISTRICT (MX-M)
LANDUSE: MIXED USE
PLANNING CONTEXT: SITE IS WITHIN THE CPO-9 NORTH 4TH CORRIDOR OVERLAY ZONE
TRANSIT: BUS ROUTES 140, 251, AND 551 ARE ALONG JEFFERSON ST. A BUS STOP IS LOCATED LESS THAN 250 FEET FROM THE SUBJECT SITE ON JEFFERSON.
LEGAL DESCRIPTION: LOTS 1 THRU 3, BLOCK 1 FITZGERALD ADDITION AND TRACTS 90-C AND 90-B-2 M.R.G.C.D. PROPERTY MAP NO. 33 WITHIN ALBUQUERQUE, GRANT, SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO.
SITE AREA: 2.46 ACRES
ZONE ATLAS: G-14-2
SETBACKS: FRONT- 10' MIN, 15' MAX; SIDE = 0' MIN, STREET SIDE 0' MIN, 15' MAX; REAR = 15' MIN
BUILDING HEIGHT: MAXIMUM ALLOWED: 55'-0"; ACTUAL HEIGHT: 40'-0"
SPRINKLERED: YES, NFPA 13
BUILDING AREA (S.F.): BUILDING A: 53,966 GSF; BUILDING B: 8,360 GSF; BUILDING C: 7,260 GSF; 69,586 GSF
PARKING CALCULATION: (TABLE 5-5-1) 1 SPACES / DWELLING UNITS: 61 X 1 = 61 SPACES; RETAIL 2.5 SPACES / 1000 SF = 10,620 X 2.5 = 27 SPACES; LIVE/WORK 2.5 SPACES / 1000 SF = 3,500 X 2.5 = 9 SPACES; TOTAL REQUIRED SPACES = 97 SPACES; PROVIDED PARKING = 118
BICYCLE PARKING REQUIRED = 10 SPACES; 10% OF REQUIRED OFF-STREET PARKING = 97 X 0.10 = 10 SPACES; BICYCLE PARKING PROVIDED = 10 SPACES



A1 SITE PLAN 1" = 50'-0"

DEKKER PERICH SABATINI

ARCHITECT

ENGINEER

PROJECT

CALLE CUARTA ALBUQUERQUE, NM

SITE PLAN - DRB

REVISIONS

- Revision symbols: triangle, square, circle, diamond.

DRAWN BY: D/P/S

REVIEWED BY: D/P/S

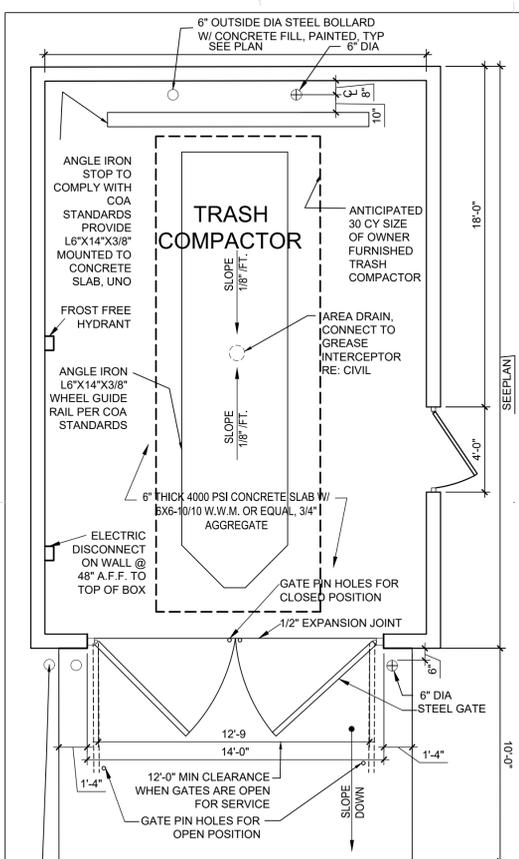
DATE: 11/19/2021

PROJECT NO.: 20-0276

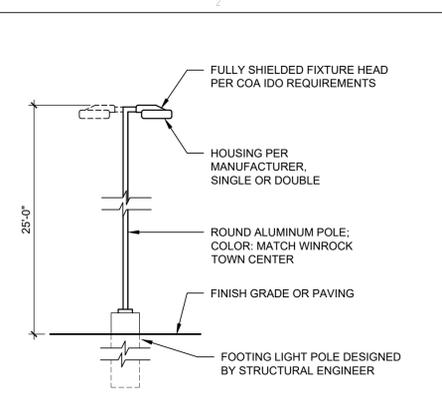
DRAWING NAME: SITE PLAN

SHEET NO. SDP1.1

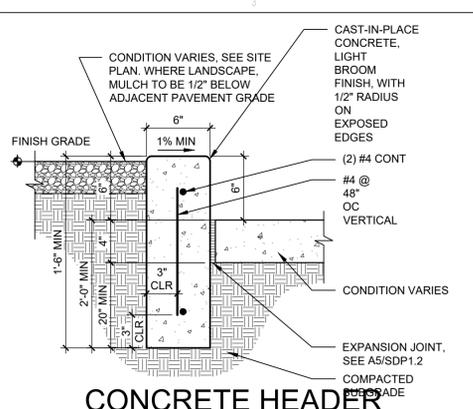
OF



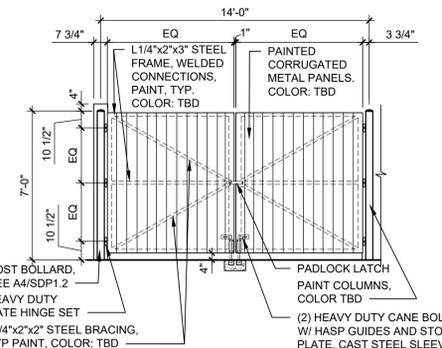
C1 TRASH COMPACTOR ENCLOSURE
1/4" = 1'-0"



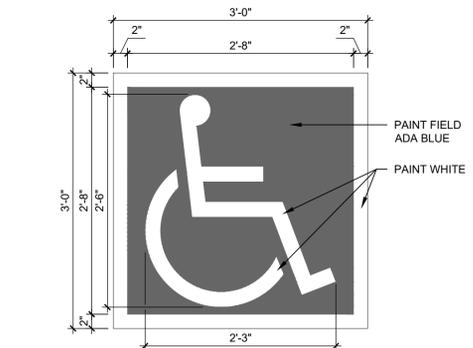
D2 PARKING LIGHT POLE
1/4" = 1'-0"



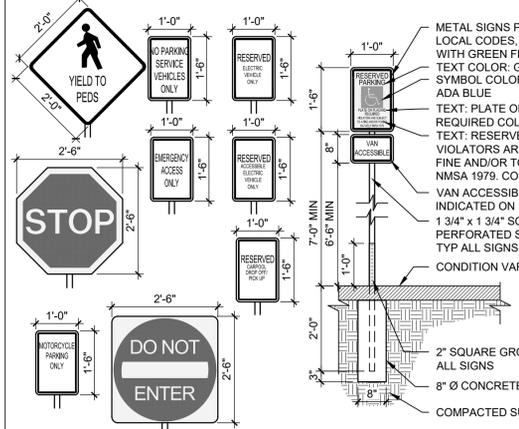
D3 CONCRETE HEADER CURB
1 1/2" = 1'-0"



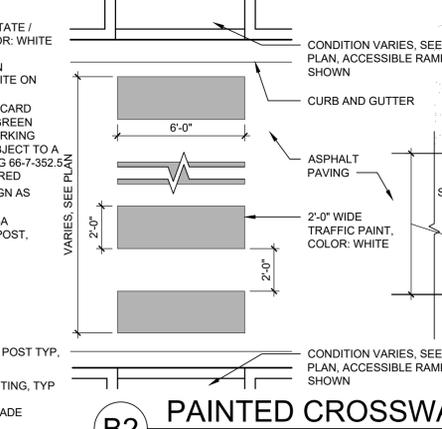
C2 REFUSE ENCLOSURE GATE
1/4" = 1'-0"



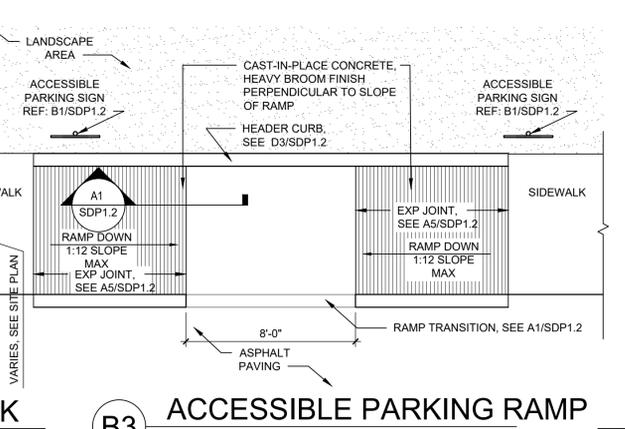
C3 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"



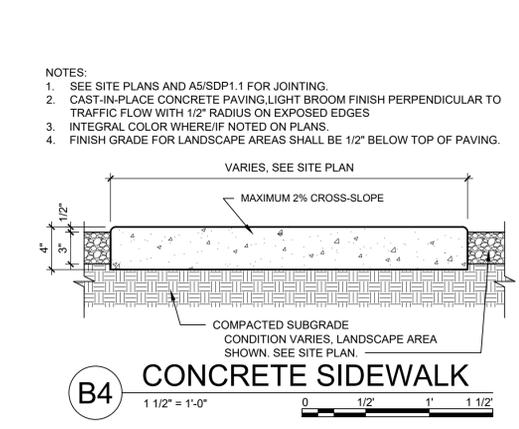
B1 TRAFFIC SIGNAGE
1/2" = 1'-0"



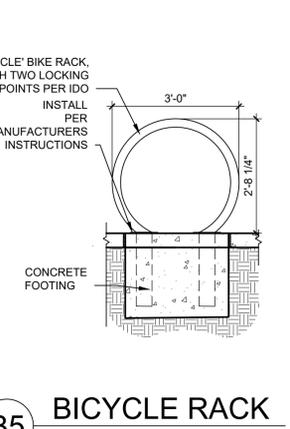
B2 PAINTED CROSSWALK
1/4" = 1'-0"



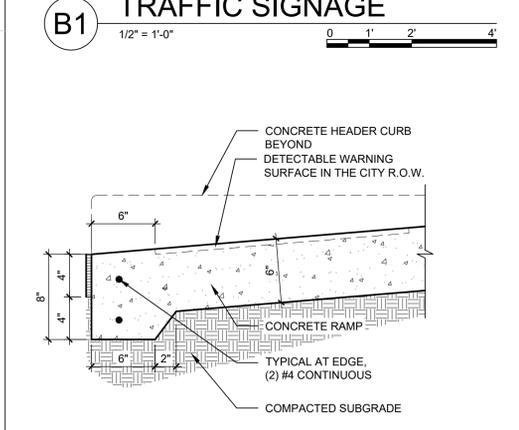
B3 ACCESSIBLE PARKING RAMP
1/4" = 1'-0"



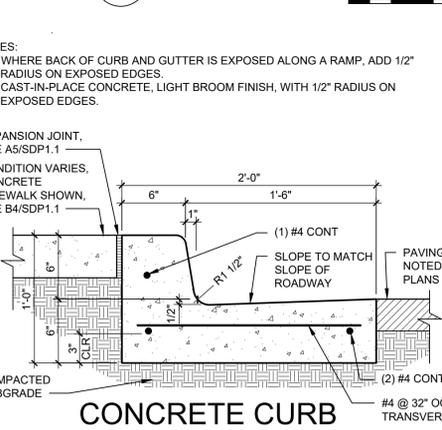
B4 CONCRETE SIDEWALK
1 1/2" = 1'-0"



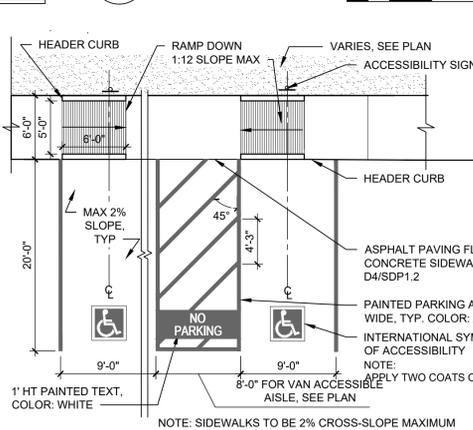
B5 BICYCLE RACK
1/2" = 1'-0"



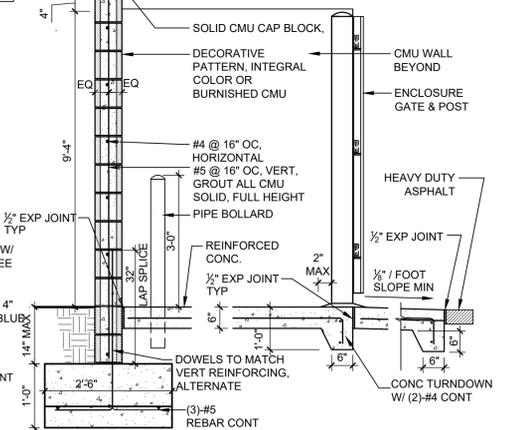
A1 RAMP TRANSITION
1 1/2" = 1'-0"



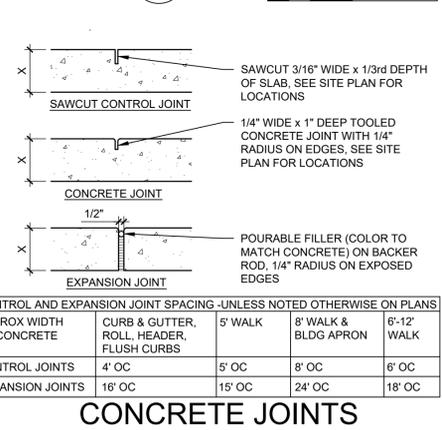
A2 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



A3 ACCESSIBLE PARKING
1/8" = 1'-0"



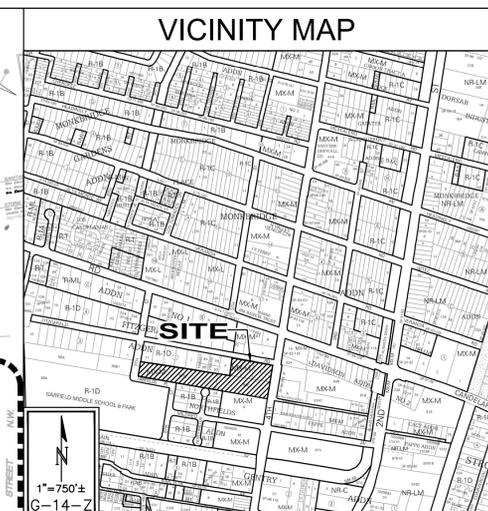
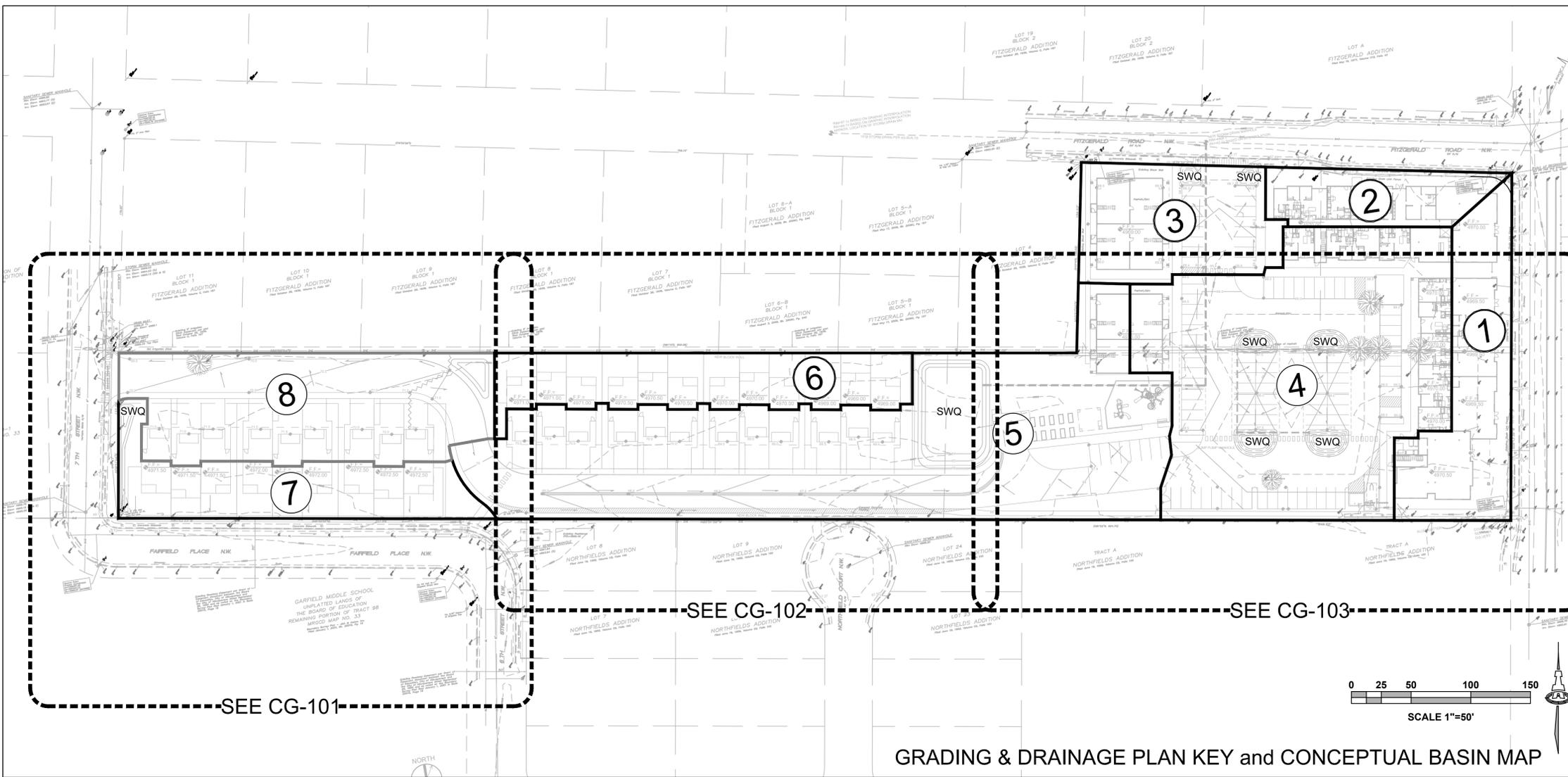
A4 COMPACTOR ENCLOSURE SECTION
1/2" = 1'-0"



A5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"

CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS

APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC



PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-14. THE SITE IS BOUND TO THE EAST BY 4TH ST. SW, TO THE WEST BY 7TH ST. SW, TO THE NORTH BY DEVELOPED RESIDENTIAL LOTS AND FITZGERALD RD. NW, AND TO THE SOUTH BY DEVELOPED RESIDENTIAL AND COMMERCIAL PROPERTIES.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 21 UNIT TOWNHOME PROPERTY ADJACENT TO A MIXED MULTI-FAMILY RESIDENTIAL COMMERCIAL AREA WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: LOTS 1 THRU 3, BLOCK 1 FITZGERALD ADDITION AND TRACTS 90C AND 90B2 M.R.G.C.D. PROPERTY MAP NO. 33.

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "23-G14", ELEVATION = 4969.296 FEET (NAVD 88).

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY APPEARS TO LIE WITHIN "ZONE X" (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0332G, EFFECTIVE DATE SEPTEMBER 26, 2008.

DRAINAGE PLAN CONCEPT: BASED ON A PREDESIGN MEETING WITH COA HYDROLOGY, (RENEE BRISETTE - SENIOR ENGINEER) THE PROPERTY IS PERMITTED FREE DISCHARGE TO THE SURROUNDING STREETS. SURFACE DISCHARGE WILL BE PROVIDED WHERE POSSIBLE. A PRIVATE STORM DRAIN SYSTEM(S) WILL BE INSTALLED TO COLLECT ON-SITE RUNOFF AND ROUTE TO THE EXISTING PUBLIC STORM DRAINS IN 7TH STREET AND FITZGERALD ROAD NW.

SURVEYOR: RUSS P. HUGG, NMPs NO. 9750, SURV-TEK, INC.

GRADING & DRAINAGE PLAN KEY and CONCEPTUAL BASIN MAP

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-266-8828 | www.iacivil.com

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CONCEPTUAL NOT FOR CONSTRUCTION

NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
7322
10/25/21

Engineer

Calle Cuarta Residential & Commercial
a development of
YES Housing

CALCULATIONS: 2429 YES Housing : 10-25-2021

Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE: 217956 SF = 5.00 ACRE

100-year, 6-hour DEVELOPED FLOWS:		EXCESS PRECIP:	
Treatment SF	%	Treatment SF	%
Area A = 0	0%	Area A = 0	0%
Area B = 174365	80%	Area B = 30514	14%
Area C = 43591	20%	Area C = 32693	15%
Area D = 0	0%	Area D = 154749	71%
Total Area = 217956	100%	Total Area = 217956	100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E = 1.29 in. | Developed E = 1.92 in.

On-Site Volume of Runoff: $V_{360} = E \cdot A / 12$
Historic $V_{360} = 23430$ CF | Developed $V_{360} = 34888$ CF

On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$
For Precipitation Zone 2
 $Q_{pA} = 1.71$, $Q_{pB} = 2.36$, $Q_{pC} = 3.05$, $Q_{pD} = 4.34$
Historic $Q_p = 16.6$ CFS | Developed $Q_p = 19.4$ CFS

BASIN NO.	DESCRIPTION	TO 4TH STREET
1	TO FITZGERALD STREET	0.39 Ac.
Area of basin flows = 16807 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.92 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 2685$ CF	B = 10%
Sub-basin Peak Discharge Rate:	$Q_p = 1.5$ cfs	C = 20%
		D = 70%
		Stormwater Quality Volume = 255 CF
2	TO FITZGERALD STREET	0.2 Ac.
Area of basin flows = 8540 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.92 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 1364$ CF	B = 10%
Sub-basin Peak Discharge Rate:	$Q_p = 0.8$ cfs	C = 20%
		D = 70%
		FIRST FLUSH VOL. = 130 CF
3	TO FITZGERALD STREET	0.4 Ac.
Area of basin flows = 15467 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.92 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 2471$ CF	B = 10%
Sub-basin Peak Discharge Rate:	$Q_p = 1.4$ cfs	C = 20%
		D = 70%
		FIRST FLUSH VOL. = 235 CF
4	TO PRIVATE STORM DRAIN	1.2 Ac.
Area of basin flows = 53309 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	2.12 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 9433$ CF	B = 5%
Sub-basin Peak Discharge Rate:	$Q_p = 5.0$ cfs	C = 10%
		D = 85%
		FIRST FLUSH VOL. = 982 CF

BASIN NO.	DESCRIPTION	TO MAIN SWQ POND / PRIVATE STORM DRAIN
5	TO MAIN SWQ POND / PRIVATE STORM DRAIN	1.5 Ac.
Area of basin flows = 65746 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.83 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 10021$ CF	B = 20%
Sub-basin Peak Discharge Rate:	$Q_p = 5.7$ cfs	C = 15%
		D = 65%
		FIRST FLUSH VOL. = 926 CF
6	TO MAIN SWQ POND / PRIVATE STORM DRAIN	0.4 Ac.
Area of basin flows = 16139 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.76 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 2372$ CF	B = 20%
Sub-basin Peak Discharge Rate:	$Q_p = 1.4$ cfs	C = 20%
		D = 60%
		FIRST FLUSH VOL. = 210 CF
7	TO FAIRFIELD STREET	0.3 Ac.
Area of basin flows = 14895 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.76 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 2190$ CF	B = 20%
Sub-basin Peak Discharge Rate:	$Q_p = 1.3$ cfs	C = 15%
		D = 75%
		FIRST FLUSH VOL. = 194 CF
8	TO 7TH STREET	0.6 Ac.
Area of basin flows = 27057 SF		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		
Weighted E =	1.98 in.	A = 0%
Sub-basin Volume of Runoff:	$V_{360} = 4469$ CF	B = 10%
Sub-basin Peak Discharge Rate:	$Q_p = 2.5$ cfs	C = 15%
		D = 75%
		FIRST FLUSH VOL. = 440 CF

STORMWATER QUALITY PONDS

BASED ON HISTORICAL GOOGLE IMAGERY, THIS PROPERTY HAS BEEN PREVIOUSLY DEVELOPED AS A COMMERCIAL BUSINESS. FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26".

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 71% OF TOTAL AREA: $(0.71 \cdot 5.0 \text{ AC}) = 154,749 \text{ SF}$. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = $0.26" \cdot \text{TYPE "D" AREA} = 0.26/12 \cdot 154,749 \text{ SF} = 3,353 \text{ CF}$. THIS MAY CHANGE DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED WITHIN EACH BASIN.

SWQV PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY. AS THE SITE DEVELOPS, FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS. PROPOSED SWQV POND AREAS ARE SHOWN TO INDICATE POTENTIAL POND LOCATIONS.

PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 / CF THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

A DRAINAGE COVENANT MAY BE REQUIRED FOR THE SWQV PONDS AND THEIR OUTFALL STRUCTURES. IF SO, THE ORIGINAL NOTARIZED FORM, EXHIBIT A (LEGIBLE ON 8.5X11) AND RECORDING FEE (PAYABLE TO CITY OF ALBUQUERQUE) WILL BE SUBMITTED AS DIRECTED.

No.	Date	Description

DESIGN DEVELOPMENT

ISSUE: NOV. 2021

PROJECT NUMBER: IA 2429

FILE: 7322

DRAWN BY: []

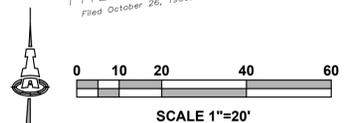
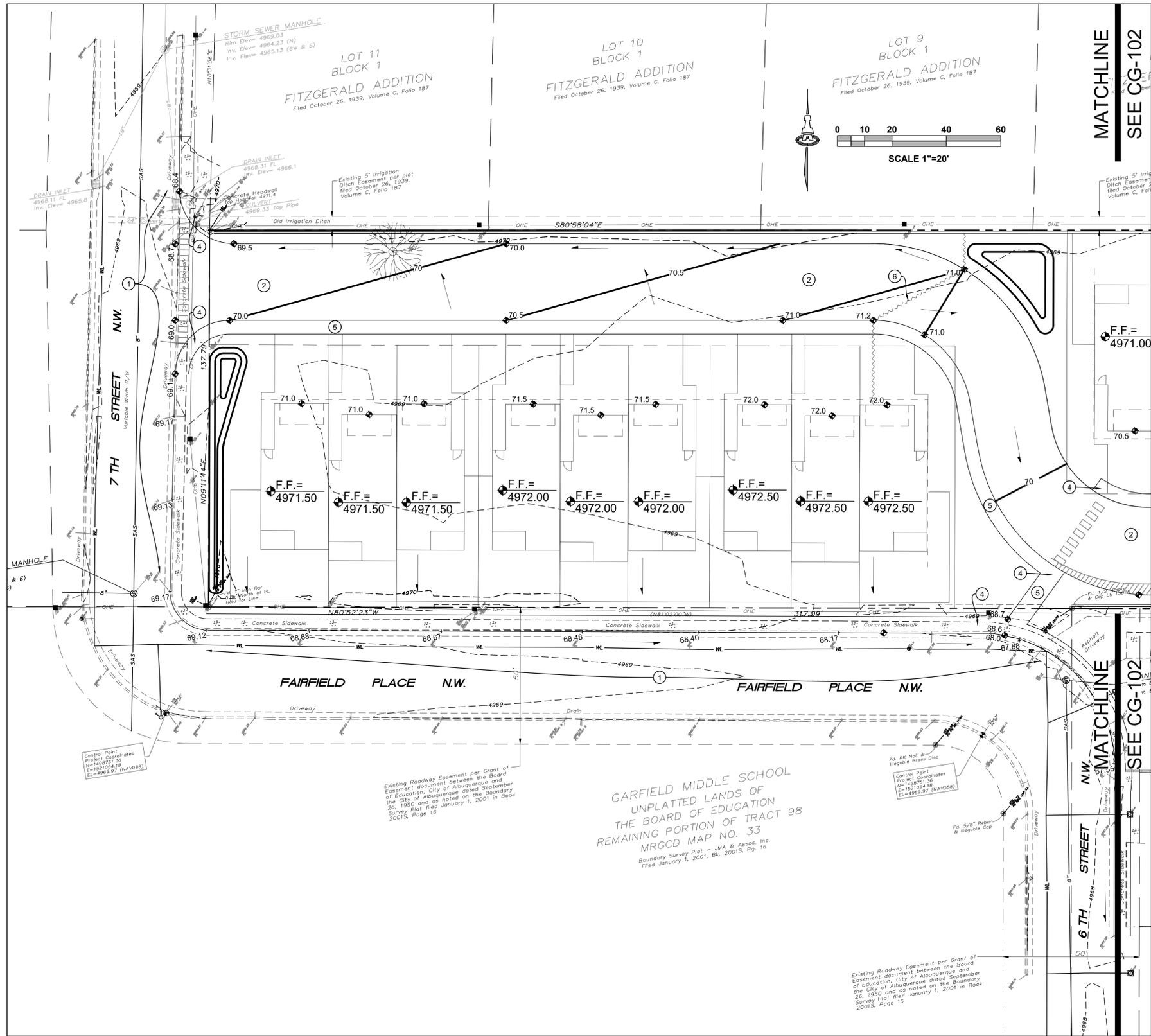
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SHEET TITLE

OVERALL GRADING + BASIN EXHIBIT

SHEET NUMBER

CG100



MATCHLINE
SEE CG-102

MATCHLINE
SEE CG-101

KEYED NOTES

THESE NOTES ARE REFERENCED ON SHEETS CG101, CG102 AND CG103. NOT ALL NOTES ARE USED ON EACH SHEET.

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%; ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12.1 (8.3%). ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN RW INCLUDING NEW ACCESS DRIVES, ADA COMPLIANT RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, ETC. PROPOSED GRADES WITHIN R/W ARE SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
- SLOPE WITHIN ADA PARKING AREAS TO BE ADA COMPLIANT. MAX. SLOPE = 2% IN ANY DIRECTION.
- ADA COMPLIANT ACCESS RAMP.
- ADA COMPLIANT PEDESTRIAN ACCESS WALK.
- HIGH POINT / GRADE BREAK LOCATION.
- 0.5' DESIGN CONTOURS ARE SHOWN DASHED TO CLARIFY GRADING CONCEPT.
- ROOF DISCHARGE TO BE RELEASED AT GRADE. INSTALL PRECAST SPLASHPAD WHERE CONCENTRATED ROOF DISCHARGES TO UNPAVED AREA.
- 2.0' WIDE OPENING IN CURB TO PASS FLOW.
- COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
- CONCRETE HEADWALL.
- CONCRETE DUMPSTER PAD. SLOPE INTERIOR TO DRAIN TO PROPOSED SANITARY SEWER DRAINAGE INLET. SEE UTILITY PLAN.
- 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. INSTALL ANGULAR ROCK TO DEFINE PERIMETER. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- PRIVATE STORM DRAIN SYSTEM.
- ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
- SITE PERIMETER WALL(S) (RETAINING <18") TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC.

LEGEND

- 4965 EXISTING CONTOUR
- 71 PROPOSED 1.0' CONTOUR
- 72.1 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 4966.00 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN / INLET

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Civil Engineering Consultants
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Engineer

Calle Cuarta Residential & Commercial
a development of
YES Housing

DESIGN	DEVELOPMENT
ISSUE:	PROJECT NUMBER: IA 2429
FILE:	
DRAWN BY:	
CHECKED BY:	
DATE:	NOV. 2021

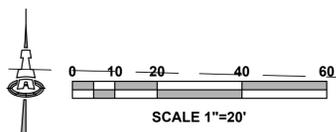
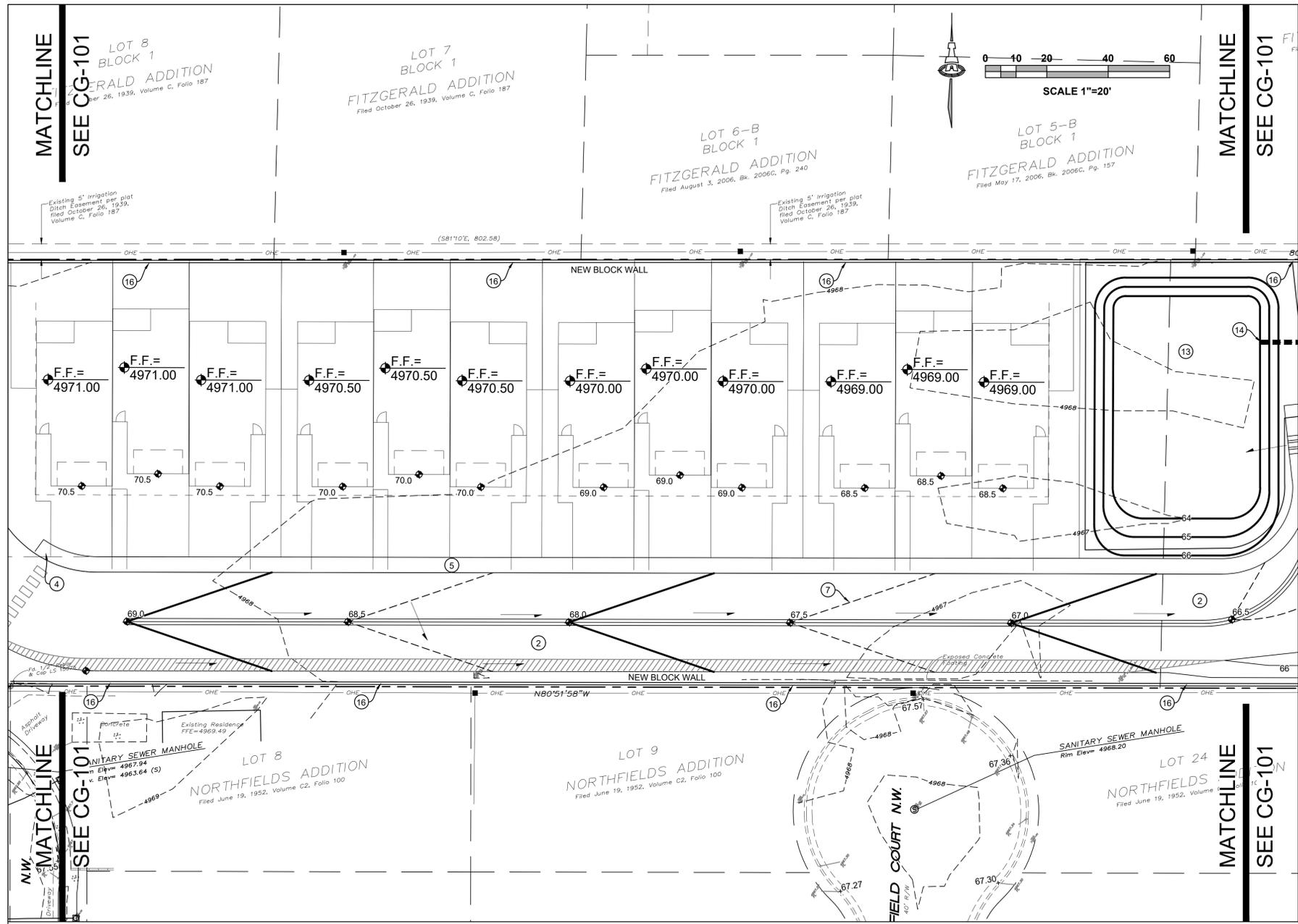
No	Date	Description

SHEET TITLE

GRADING & DRAINAGE PLAN 1 OF 3

SHEET NUMBER

CG101



KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG101, CG102 AND CG103. NOT ALL NOTES ARE USED ON EACH SHEET.
- SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%; ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%). ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN RW INCLUDING NEW ACCESS DRIVES, ADA COMPLIANT RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, ETC. PROPOSED GRADES WITHIN RW ARE SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
 - NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
 - SLOPE WITHIN ADA PARKING AREAS TO BE ADA COMPLIANT. MAX. SLOPE = 2% IN ANY DIRECTION.
 - ADA COMPLIANT ACCESS RAMP.
 - ADA COMPLIANT PEDESTRIAN ACCESS WALK.
 - HIGH POINT / GRADE BREAK LOCATION.
 - 0.5' DESIGN CONTOURS ARE SHOWN DASHED TO CLARIFY GRADING CONCEPT.
 - ROOF DISCHARGE TO BE RELEASED AT GRADE. INSTALL PRECAST SPLASHPAD WHERE CONCENTRATED ROOF DISCHARGES TO UNPAVED AREA.
 - 2.0' WIDE OPENING IN CURB TO PASS FLOW.
 - COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
 - CONCRETE HEADWALL.
 - CONCRETE DUMPSTER PAD. SLOPE INTERIOR TO DRAIN TO PROPOSED SANITARY SEWER DRAINAGE INLET. SEE UTILITY PLAN.
 - 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. INSTALL ANGULAR ROCK TO DEFINE PERIMETER. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
 - PRIVATE STORM DRAIN SYSTEM.
 - ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
 - SITE PERIMETER WALL(S) (RETAINING <18") TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC.

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CONCEPTUAL NOT FOR CONSTRUCTION

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No	Date	Description

LEGEND

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- 71 PROPOSED 1.0' CONTOUR
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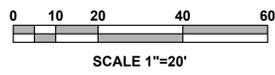
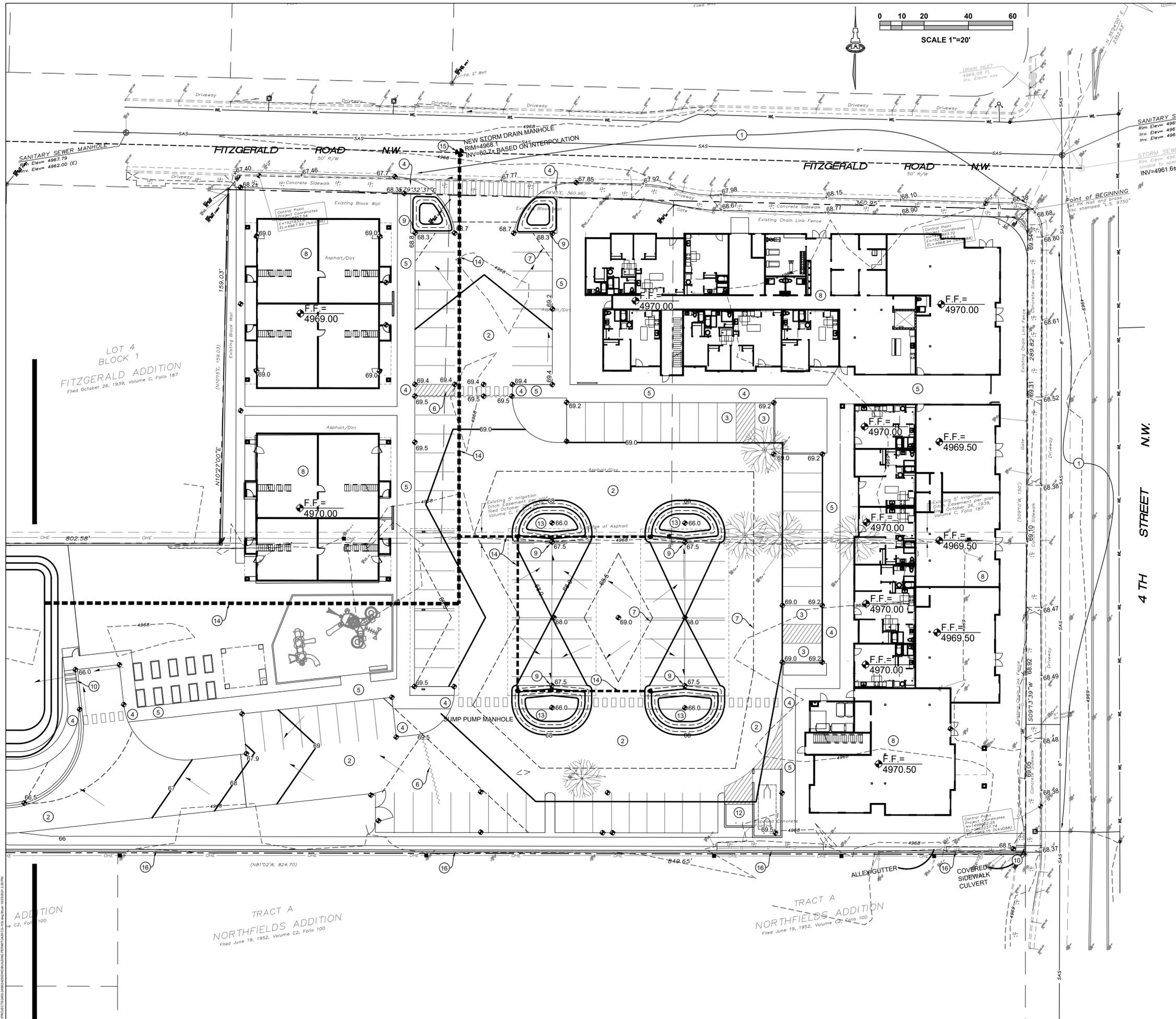
SHEET TITLE

GRADING & DRAINAGE PLAN 2 OF 3

SHEET NUMBER

CG102

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KEYED NOTES

THESE NOTES ARE REFERENCED ON SHEETS CG101, CG102 AND CG103. NOT ALL NOTES ARE USED ON EACH SHEET.

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%; ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%). ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN RW INCLUDING NEW ACCESS DRIVES, ADA COMPLIANT RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, ETC. PROPOSED GRADES WITHIN RW ARE SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
- SLOPE WITHIN ADA PARKING AREAS TO BE ADA COMPLIANT. MAX. SLOPE = 2% IN ANY DIRECTION.
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- PRIVATE STORM DRAIN SYSTEM.
- NEW STORM SEWER MANHOLE.
- SITE PERIMETER WALL(S) (RETAINING <18") TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC.

LEGEND

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DATE: NOV. 2021	

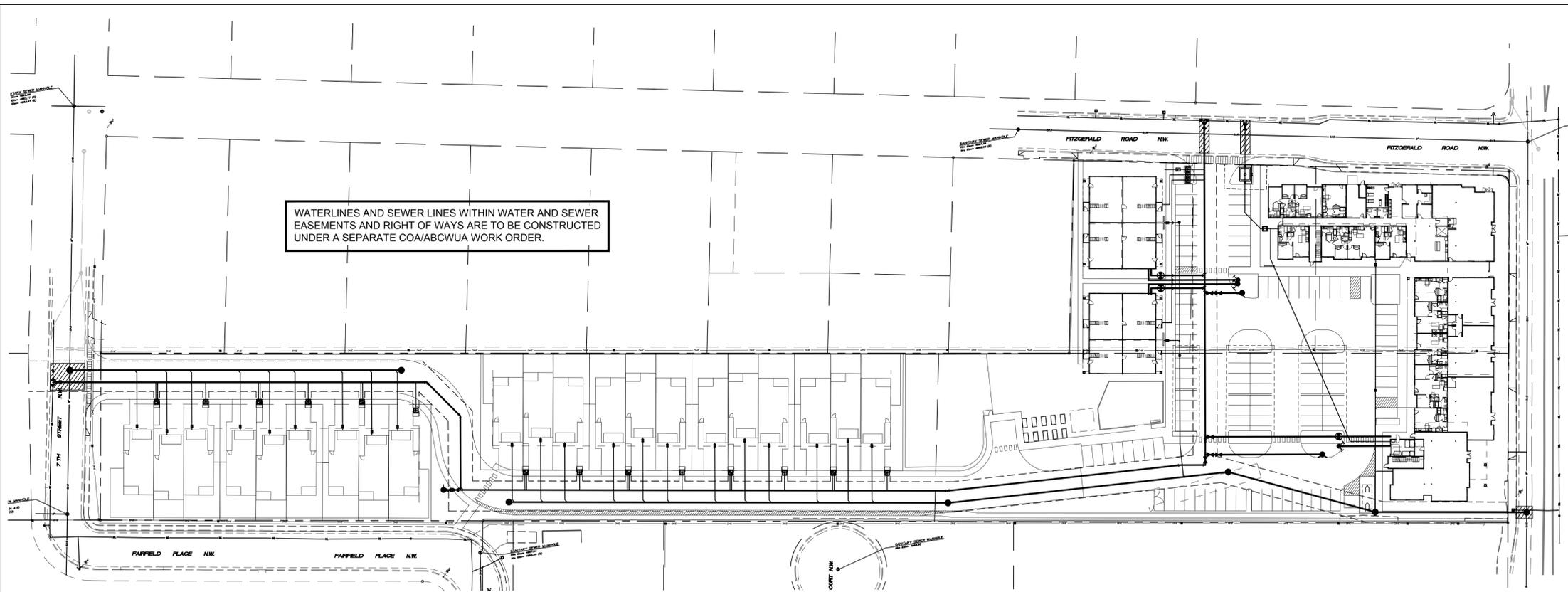
No	Date	Description

SHEET TITLE

GRADING & DRAINAGE PLAN 3 OF 3

SHEET NUMBER

CG103



GENERAL NOTES

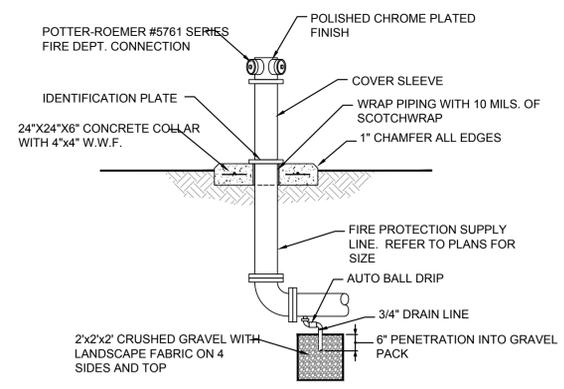
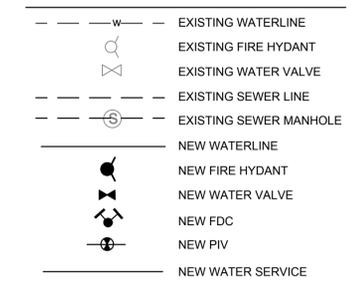
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

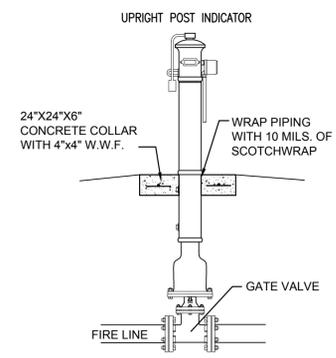
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 1.50 FACTOR OF SAFETY:
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

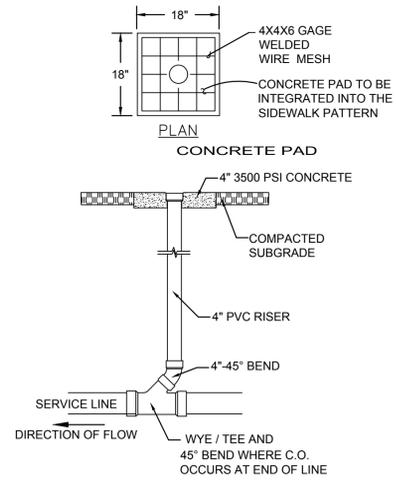
LEGEND



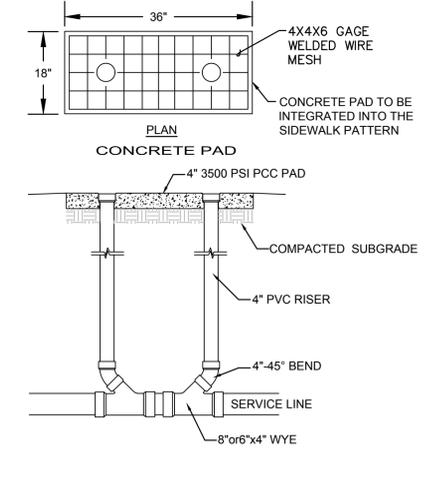
FREE-STANDING FIRE DEPARTMENT CONNECTION DETAIL
NTS



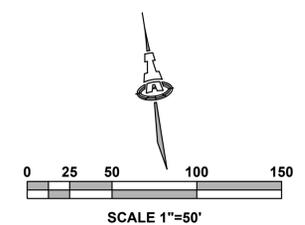
POST INDICATOR VALVE
NTS



SINGLE CLEANOUT DETAIL
NTS

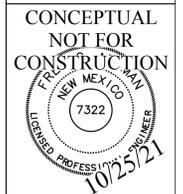


DOUBLE CLEANOUT
NTS



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DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER:	IA 2429
FILE:	
DRAWN BY:	DEC
CHECKED BY:	FCA
DATE:	NOV. 2021

No	Date	Description

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

CU-101

SHEET KEYED NOTES

1 CLEAR SIGHT TRIANGLE, NO PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0", MEASURED FROM GUTTER PAN, TO BE WITHIN THIS AREA

LEGEND

- PROPERTY LINE
- 7/16" BROWN ANGULAR GRAVEL MULCH OVER FILTER FABRIC, 2" DEPTH
- 2" BROWN ANGULAR GRAVEL MULCH OVER FILTER FABRIC, 3" DEPTH
- MEDIUM SHREDDED WOOD MULCH OVER FILTER FABRIC, 2" DEPTH

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	8	ACER TATARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE	2" CAL B&B	20.00	24.00
	8	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CAL. B&B	50.00	40.00
	5	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET	24" BOX MULTI-TRUNK, 3 TRUNK MIN.	15.00	15.00
	8	FRAXINUS OXYCARPA 'RAYWOOD' TM	RAYWOOD ASH	2" CAL B&B	35.00	25.00
	33	LAGERSTROEMIA INDICA 'DYNAMITE'	DYNAMITE CRAPE MYRTLE	5 GAL	12.00	6.00
	3	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL.	35.00	25.00
	37	THUJA OCCIDENTALIS 'SKYBOUND'	SKYBOUND ARBORVITAE	15 GAL.	15.00	4.00
	14	ULMUS X 'FRONTIER'	FRONTIER ELM	2" CAL B&B	35.00	30.00
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	33	AMORPHA CANESCENS	LEADPLANT	5 GAL	3.00	3.00
	53	BACCHARIS X 'STARN'	THOMPSON BROOM	5 GAL	3.00	3.00
	21	CARYOPTERIS X CLANDONENSIS	BLUEBEARD	5 GAL	3.00	3.00
	19	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH'	FERNBUSH	5 GAL	5.00	5.00
	32	CYTISUS SCOPARIUS 'LENA S'	LENA S BROOM	5 GAL	4.00	4.00
	24	PINUS MUGO 'SLOWMOUND'	MUGO PINE	5 GAL	3.00	3.00
	15	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	3.00	8.00
	13	RHUS TRILOBATA	THREELEAF SUMAC	5 GAL	6.00	6.00
	19	ROSA X 'NOASPLASH'	PINK SPLASH CARPET GROUNDCOVER ROSE	5 GAL	2.00	4.00
	22	ROSA X 'RADSUNNY' TM	SUNNY KNOCK OUT YELLOW ROSE	5 GAL	3.50	3.50
	50	ROSMARINUS OFFICINALIS 'ARP'	ARP ROSEMARY	5 GAL	6.00	6.00
DESERT ACCENTS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	76	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	5.00	3.00
	43	OPUNTIA MACRORHIZA	PLAINS PRICKLY PEAR	5 GAL	1.00	3.00
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	84	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	5 GAL	4.00	2.5"
	26	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL	1.50	1.50
	29	MISCANTHUS 'PURPURASCENS'	FLAME GRASS	5 GAL	5.00	3.00
	9	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	5 GAL	8.00	5.00
	155	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	NASHVILLE MUHLY	5 GAL	2.00	2.00
	12	SPOROBOLUS WRIGHTII 'LOS LUNAS'	LOS LUNAS GIANT SACATON	5 GAL	10.00	6.00
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	56	ALCEA ROSEA	HOLLYHOCK	5 GAL	6.00	2.50
	21	ECHINACEA PURPUREA 'POWWOW WILD BERRY'	POWWOW WILD BERRY CONEFLOWER	1 GAL	1.50	1.25
	13	LAVANDULA X INTERMEDIA 'GROSSO'	FAT BUD FRENCH LAVENDER	1 GAL.	3.00	3.00
VINES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	26	HEDERA HELIX	ENGLISH IVY	5 GAL		

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 7 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE I.D.O.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.

IRRIGATION NOTES

- CONTRACTOR SHALL DESIGN AND INSTALL THE AUTOMATED IRRIGATION SYSTEM AND ENSURE IT COMPLIES WITH THE CITY OF ALBUQUERQUE REQUIREMENTS AND REGULATIONS.
- PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH A SMART IRRIGATION CONTROLLER, PROGRAMMABLE SETTINGS AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE WASTE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING/LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER IS LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS. A SEPARATE IRRIGATION SUB-METER SHALL BE INSTALLED OFF THE WATER SERVICE LINE.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- SLEEVES SHALL BE INSTALLED UNDER ALL PAVED SURFACES AND SHALL EXTEND 24" MINIMUM BEYOND PAVEMENTS. SLEEVES SHALL BE TWO SIZES LARGER THAN IRRIGATION PIPE ENCLOSED.

LANDSCAPE CALCULATIONS

LOT AREA = 106,964 SF

REQUIRED PARKING LOT LANDSCAPE AREA
 NEW PARKING LOT AREA = 37,816
 REQUIRED LANDSCAPE AREA IN PARKING LOT = 5,672 SF (15% OF PKG LOT AREA)
 PROVIDED LANDSCAPE AREA = 9,093 SF (24% OF PKG LOT AREA)

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA = 16,045 SF (15% OF LOT AREA)
 PROVIDED NEW LANDSCAPE AREA = 21,759 SF (20% OF LOT AREA)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED= 1 TREE / 10 PARKING SPACES, NO PARKING SPACE MAY BE MORE THAN 100' FROM A TREE TRUNK
 TOTAL NUMBER OF NEW PARKING SPACES= 105 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 11 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 11

REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE
 STREET TREES =
 4th STREET FRONTAGE = 290 LNFT
 REQUIRED STREET TREES = 12
 PROVIDED STREET TREES = 12
 FITZGERALD FRONTAGE = 351 LNFT
 REQUIRED STREET TREES = 15
 PROVIDED STREET TREES = 15

REQUIRED VEGETATIVE COVERAGE
 TOTAL VEGETATIVE COVER REQUIRED = 16,319 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 17,624 SF (81% OF TOTAL MULCHED LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 4080 SF (25% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 6,750 SF (31% OF TOTAL MULCHED LANDSCAPE AREA)

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 14,058 SF (64% OF MULCHED LANDSCAPE AREA)
 TOTAL ORGANIC MULCH GROUND COVER = 7,701 SF (36% OF MULCHED LANDSCAPE AREA)
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED. A MINIMUM OF 25% ORGANIC MULCH IS REQUIRED. 14-16-5-6(c)(5)(d)



A1 LANDSCAPE PLAN
 1" = 50'-0"
 0 50' 100'

**DEKKER
 PERICH
 SABATINI**

ARCHITECT

 ENGINEER

PROJECT

CALLE CUARTA

REVISIONS

DRAWN BY CD
 REVIEWED BY KR
 DATE 11/19/2021
 PROJECT NO. 20-0276
 DRAWING NAME
LANDSCAPE PLAN

SHEET NO.
SDP2.1
 OF

LEGEND

- EXTERIOR WALL: STUCCO
FINISH - COLOR 1 (OFF WHITE CREAM)
- EXTERIOR WALL: STUCCO
FINISH - COLOR 2 (MEDIUM TAN/BROWN)
- EXTERIOR WALL: STUCCO
FINISH - COLOR 3 (ACCENT RUST)
- EXTERIOR BAND ELEMENT: STUCCO
FINISH - COLOR 4 (WARM GREY)
- MISC. STEEL ELEMENTS: GUARDRAILS, TRELIS,
SIGN PANEL, JULIET BALCONIES, AWNING, GATES
FINISH - COLOR (SLATE GREY)
- OPTIONAL BUILDING MURAL:
DESIGN T.B.D.

SHEET KEYNOTES

1. EXTERIOR WALL: STUCCO COLOR 1
2. EXTERIOR WALL: STUCCO COLOR 2
3. EXTERIOR WALL: STUCCO COLOR 3
4. STUCCO BAND: STUCCO COLOR 4
5. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR
6. GUARDRAIL - METAL CUSTOM FABRICATED, PRIMED AND PAINTED
7. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
8. RESIDENTIAL WINDOW (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE
9. UNIT JULIET BALCONY - PRIMED AND PAINTED
10. UNIT PATIO/BALCONY DOOR: FULL LITE
11. HOLLOW METAL DOOR: PRIMED AND PAINTED
12. ALUMINUM STOREFRONT (CLEAR ANODIZED)
13. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)
14. OVERHEAD GARAGE DOOR
15. STEEL AWNING: PRIMED AND PAINTED
16. STEEL SHADE STRUCTURE: PRIMED AND PAINTED
17. STEEL ACCESS GATE: PRIMED AND PAINTED
18. BUILDING MOUNTED SIGN PANEL - PRIMED AND PAINTED
19. STEEL COLUMN: PRIMED AND PAINTED
20. OPTIONAL BUILDING MURAL: DESIGN TBD

GENERAL SHEET NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.
- C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.
- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION

**DEKKER
PERICH
SABATINI**

SEAL
PROJECT

CALLE CUARTA
ALBUQUERQUE, NM

SITE PLAN - DRB

- REVISIONS
- △
 - △
 - △
 - △
 - △

DRAWN BY: D/P/S
REVIEWED BY: D/P/S
DATE: 11/19/2021
PROJECT NO.: 20-0276
DRAWING NAME:

BUILDING ELEVATIONS

SHEET NO
SDP 5.1



D1 DRB BUILDING 1 - NORTH
3/32" = 1'-0"



B1 DRB BUILDING 1 - WEST
3/32" = 1'-0"



A1 DRB BUILDING 1 - EAST
3/32" = 1'-0"

11/18/2021 4:52:08 PM

LEGEND

- EXTERIOR WALL: STUCCO
FINISH - COLOR 1 (OFF WHITE CREAM)
- EXTERIOR WALL: STUCCO
FINISH - COLOR 2 (MEDIUM TAN/BROWN)
- EXTERIOR WALL: STUCCO
FINISH - COLOR 3 (ACCENT RUST)
- EXTERIOR BAND ELEMENT: STUCCO
FINISH - COLOR 4 (WARM GREY)
- MISC. STEEL ELEMENTS: GUARDRAILS, TRELIS,
SIGN PANEL, JULIET BALCONIES, AWNING, GATES
FINISH - COLOR (SLATE GREY)
- OPTIONAL BUILDING MURAL:
DESIGN T.B.D.

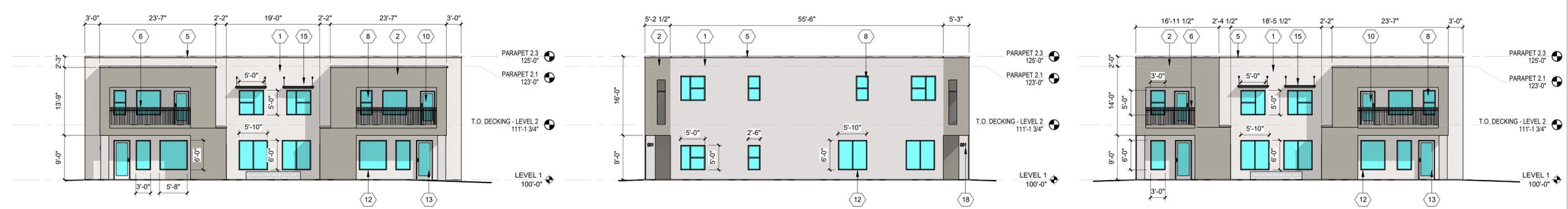
SHEET KEYNOTES

1. EXTERIOR WALL: STUCCO COLOR 1
2. EXTERIOR WALL: STUCCO COLOR 2
3. EXTERIOR WALL: STUCCO COLOR 3
4. STUCCO BAND: STUCCO COLOR 4
5. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR
6. GUARDRAIL - METAL CUSTOM FABRICATED, PRIMED AND PAINTED
7. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING
8. RESIDENTIAL WINDOW (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE
9. UNIT JULIET BALCONY - PRIMED AND PAINTED
10. UNIT PATIO/BALCONY DOOR: FULL LITE
11. HOLLOW METAL DOOR: PRIMED AND PAINTED
12. ALUMINUM STOREFRONT (CLEAR ANODIZED)
13. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)
14. OVERHEAD GARAGE DOOR
15. STEEL AWNING: PRIMED AND PAINTED
16. STEEL SHADE STRUCTURE: PRIMED AND PAINTED
17. STEEL ACCESS GATE: PRIMED AND PAINTED
18. BUILDING MOUNTED SIGN PANEL - PRIMED AND PAINTED
19. STEEL COLUMN: PRIMED AND PAINTED
20. OPTIONAL BUILDING MURAL: DESIGN TBD

GENERAL SHEET NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.
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- D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION

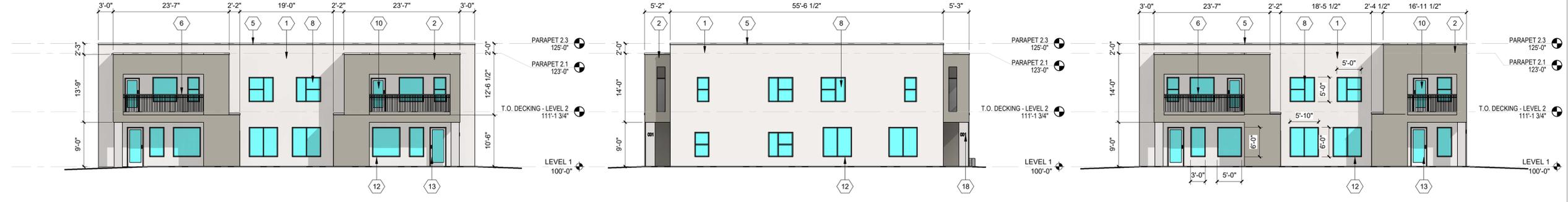
**DEKKER
PERICH
SABATINI**



C1 DRB BUILDING 2 - EAST
3/32" = 1'-0"

C3 DRB BUILDING 3 - SOUTH
3/32" = 1'-0"

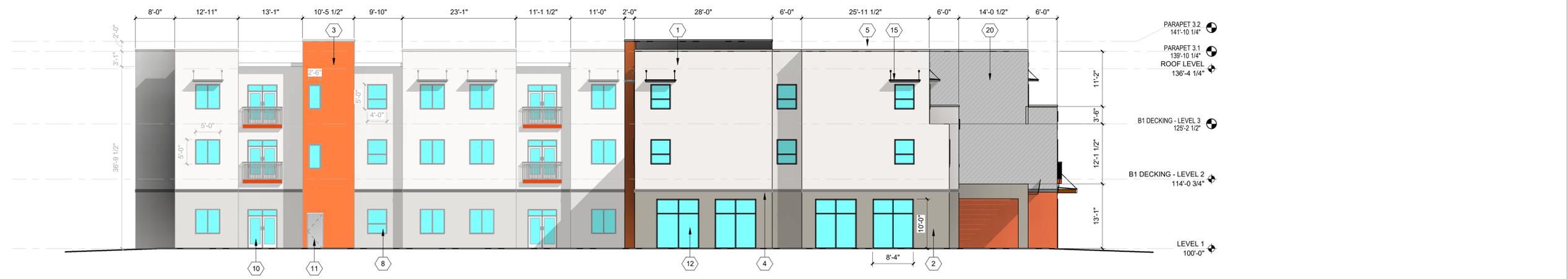
C4 DRB BUILDING 3 - EAST
3/32" = 1'-0"



B1 DRB BUILDING 2 - WEST
3/32" = 1'-0"

B3 DRB BUILDING 2 - SOUTH
3/32" = 1'-0"

B4 DRB BUILDING 3 - WEST
3/32" = 1'-0"



A1 DRB BUILDING 1 - SOUTH
3/32" = 1'-0"

SEAL
PROJECT

CALLE CUARTA
ALBUQUERQUE, NM

SITE PLAN - DRB

REVISIONS

△	
△	
△	
△	
△	

DRAWN BY	D/P/S
REVIEWED BY	D/P/S
DATE	11/19/2021
PROJECT NO.	20-0276
DRAWING NAME	

BUILDING
ELEVATIONS

SHEET NO
SDP 5.2

11/18/2021 4:50:43 PM

14 SENSITIVE LANDS SITE ANALYSIS

11/19/2021

DEKKER
PERICH
SABATINI

Maggie Gould
Planning Manager
City of Albuquerque
mgould@cabq.gov

Dear Mrs. Gould,

The site located at 3525 4th St. NW is planned to be developed for mixed-use of multifamily residential, live-work units and retail spaces. The development will include the addition of one 3-story mixed-use building with retail along 4th St. and low-income apartments throughout as well as two 2-story mixed-use buildings with live-work at ground level and low-income apartment units above. This letter is to serve as the analysis required by IDO section 14-16-5-2.

The site does not have most of the sensitive lands listed in the IDO section 5-2(C)(2). Please see below and attachments for the analysis of each type of sensitive land listed in the IDO.

- a. Arroyos: There are no natural arroyos on site.
- b. Floodplains and Special Flood Hazard Areas: According to the FEMA flood map 35001C0332G, the site is located in Zone D – area of reduced flood risk due to levee. See attached FEMA Map.
- c. Irrigation Facilities (Acequias): There are no irrigation facilities or acequias on site.
- d. Large Stands of Mature Trees: No significant stands of mature trees existing on site.
- e. Rock Outcroppings: There are no rock outcroppings on site.
- f. Significant Archeological Sites: No significant sites were found in the area.
- g. Steep Slopes and Escarpments: There are no steep slopes or escarpments on site.
- h. Wetlands: There are no wetlands on site.

As explained above we have analyzed for sensitive lands per the IDO requirement. Please feel free to call me if you have any questions.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

**15 SITE & BUILDING DESIGN
CONSIDERATIONS FORM**

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.
Achieved Achieved in Part Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.
Achieved Achieved in Part Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.
Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.
Achieved Achieved in Part Evaluated Only
5. Design should allow for natural ventilation as much as possible.
Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.
Achieved Achieved in Part Evaluated Only
7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.
Achieved Achieved in Part Evaluated Only
8. North facing windows are encouraged as they require little to no shading.
Achieved Achieved in Part Evaluated Only
9. Any west facing building entries and windows should mitigate solar effects.
Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.
Achieved Achieved in Part Evaluated Only
11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.
Achieved Achieved in Part Evaluated Only
12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.
Achieved Achieved in Part Evaluated Only
13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.
Achieved Achieved in Part Evaluated Only
14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.
Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.



Christopher Whyman / 5865

Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

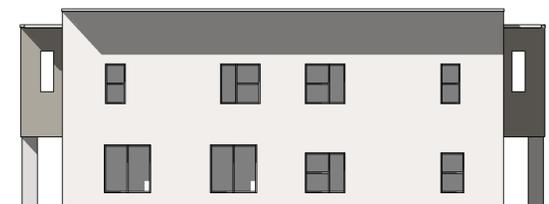
The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

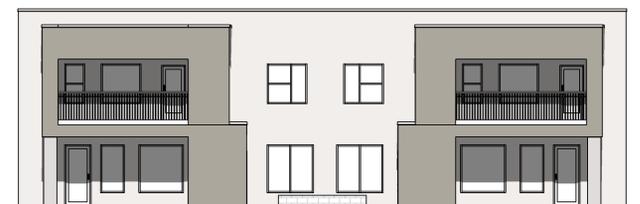
1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

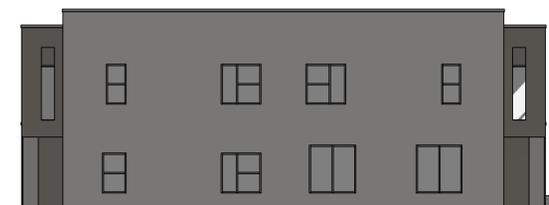
2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**



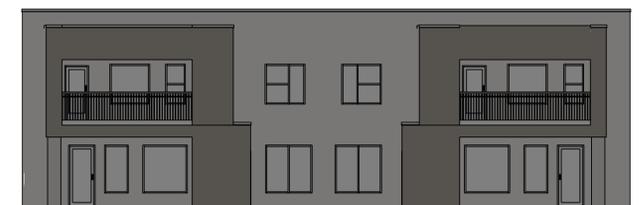
D1 BUILDING 2 - NORTH - MAY 21 - 9AM
3/32" = 1'-0"
ACHIEVES > 50%



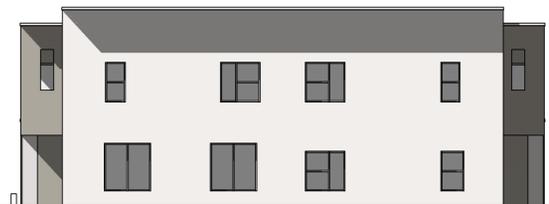
D3 BUILDING 2 - EAST - MAY 21 - 9AM
3/32" = 1'-0"
ACHIEVES > 50%



C1 BUILDING 2 - SOUTH - MAY 21 - 9AM
3/32" = 1'-0"
NO SOLAR EFFECT



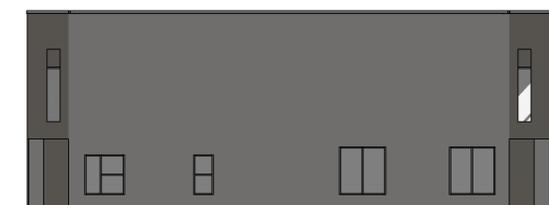
C3 BUILDING 2 - WEST - MAY 21 - 9AM
3/32" = 1'-0"
NO SOLAR EFFECT



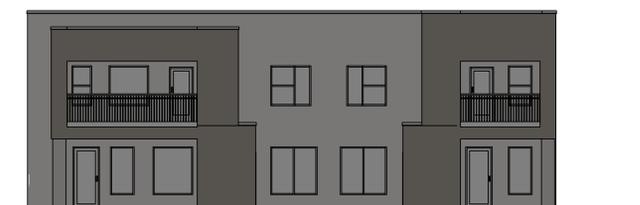
B1 BUILDING 3 - NORTH - MAY 21 - 9AM
3/32" = 1'-0"
ACHIEVES > 50%



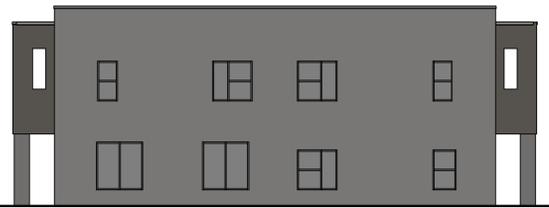
B3 BUILDING 3 - EAST - MAY 21 - 9AM
3/32" = 1'-0"
ACHIEVES > 50%



A1 BUILDING 3 - SOUTH - MAY 21 - 9AM
3/32" = 1'-0"
NO SOLAR EFFECT



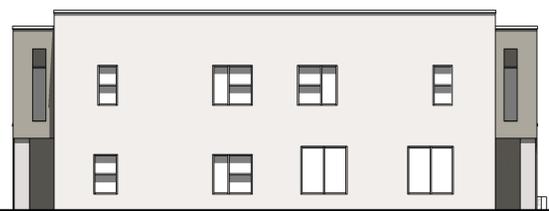
A3 BUILDING 3 - WEST - MAY 21 - 9AM
3/32" = 1'-0"
NO SOLAR EFFECT



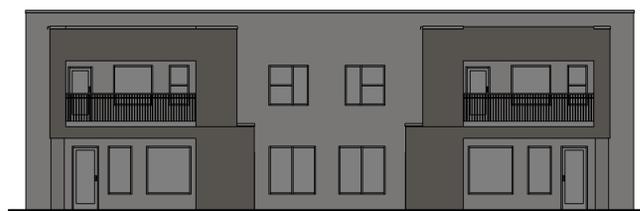
D1 BUILDING 2 - NORTH - MAY 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



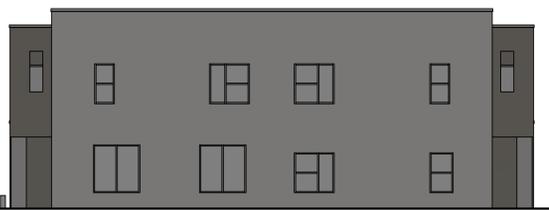
D3 BUILDING 2 - EAST - MAY 21 - 12PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 90%



C1 BUILDING 2 - SOUTH - MAY 21 - 12PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 90%



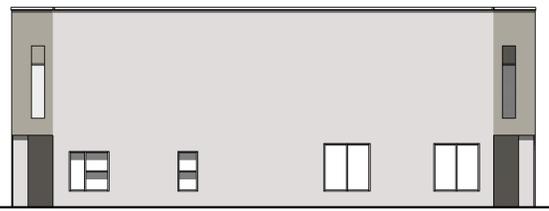
C3 BUILDING 2 - WEST - MAY 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



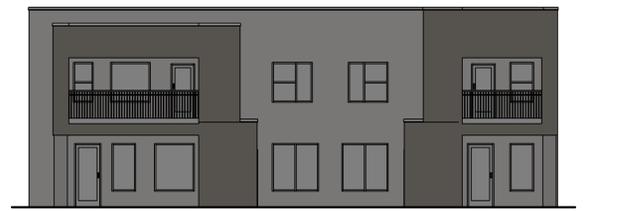
B1 BUILDING 3 - NORTH - MAY 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



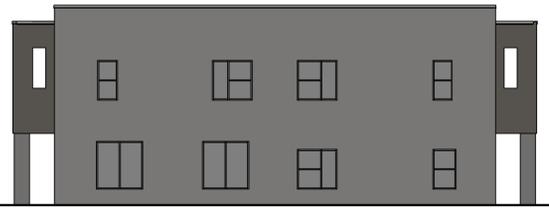
B3 BUILDING 3 - EAST - MAY 21 - 12PM
3/32" = 1'-0"
ACHIEVES > 90%



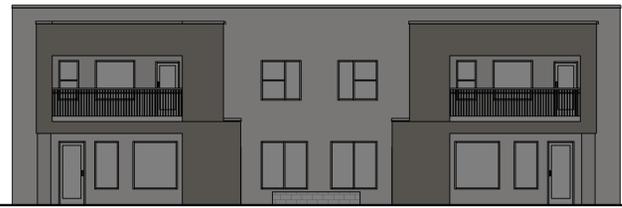
A1 BUILDING 3 - SOUTH - MAY 21 - 12PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 90%



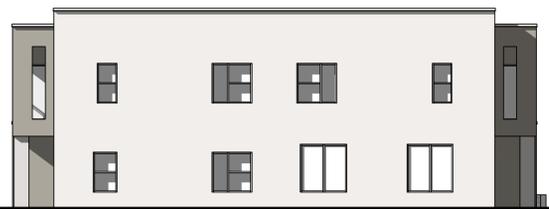
A3 BUILDING 3 - WEST - MAY 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



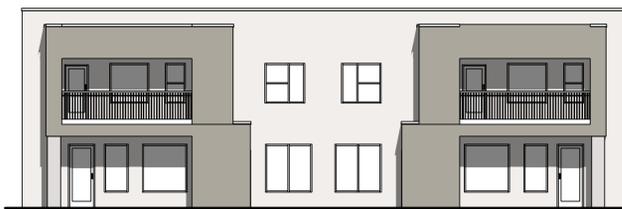
D1 BUILDING 2 - NORTH - MAY 21 - 4PM
3/32" = 1'-0"
NO SOLAR EFFECT



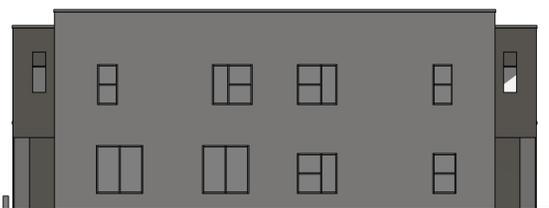
D3 BUILDING 2 - EAST - MAY 21 - 4PM
3/32" = 1'-0"
NO SOLAR EFFECT



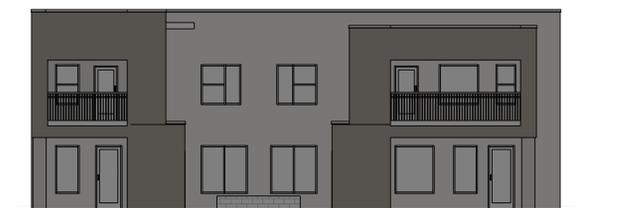
C1 BUILDING 2 - SOUTH - MAY 21 - 4PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 50%



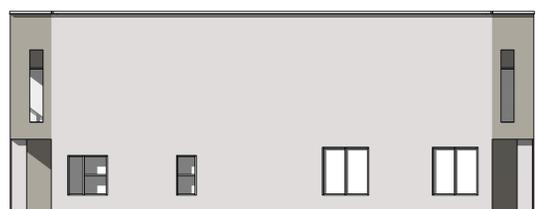
C3 BUILDING 2 - WEST - MAY 21 - 4PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 50%



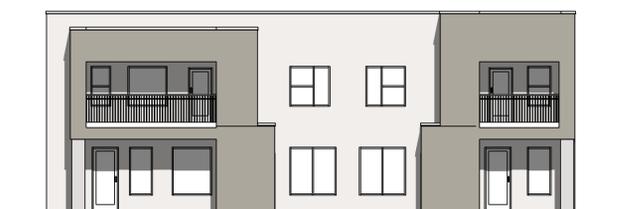
B1 BUILDING 3 - NORTH - MAY 21 - 4PM
3/32" = 1'-0"
NO SOLAR EFFECT



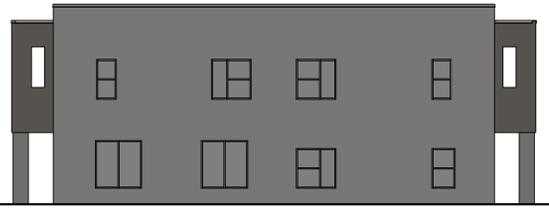
B3 BUILDING 3 - EAST - MAY 21 - 4PM
3/32" = 1'-0"
NO SOLAR EFFECT



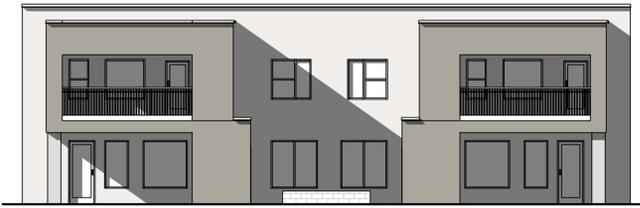
A1 BUILDING 3 - SOUTH - MAY 21 - 4PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 50%



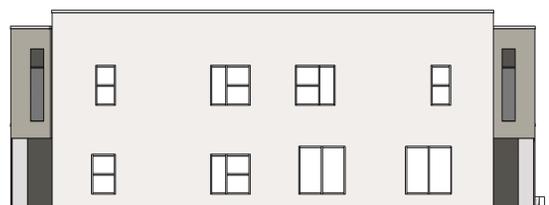
A3 BUILDING 3 - WEST - MAY 21 - 4PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 50%



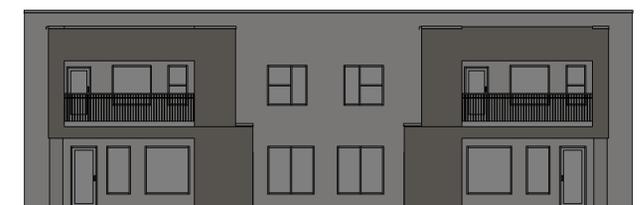
D1 BUILDING 2 - NORTH - NOVEMBER 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



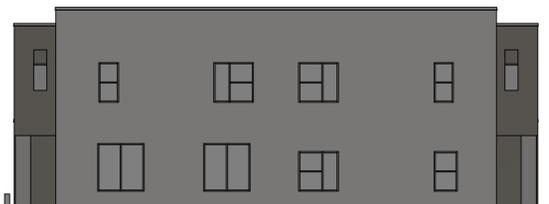
D3 BUILDING 2 - EAST - NOVEMBER 21 - 12PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 75%



C1 BUILDING 2 - SOUTH - NOVEMBER 21 - 12PM
3/32" = 1'-0"
ACHIEVES > 75%



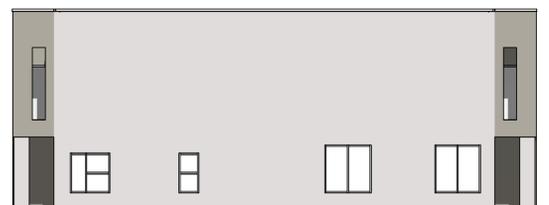
C3 BUILDING 2 - WEST - NOVEMBER 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



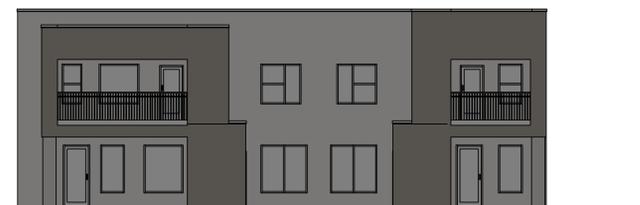
B1 BUILDING 3 - NORTH - NOVEMBER 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



B3 BUILDING 3 - EAST - NOVEMBER 21 - 12PM
3/32" = 1'-0"
DOES NOT ACHIEVE > 75%



A1 BUILDING 3 - SOUTH - NOVEMBER 21 - 12PM
3/32" = 1'-0"
ACHIEVES > 75%



A3 BUILDING 3 - WEST - NOVEMBER 21 - 12PM
3/32" = 1'-0"
NO SOLAR EFFECT



D1 BUILDING 1 - NORTH - MAY 21 - 9AM
3/32" = 1'-0"

ACHIEVES > 50%



C1 BUILDING 1 - EAST - MAY 21 - 9AM
3/32" = 1'-0"

DOES NOT ACHIEVE > 50%



B1 BUILDING 1 - SOUTH - MAY 21 - 9AM
3/32" = 1'-0"

NO SOLAR EFFECT



A1 BUILDING 1 - WEST - MAY 21 - 9AM
3/32" = 1'-0"

NO SOLAR EFFECT



D1 BUILDING 1 - NORTH - MAY 21 - 12PM
3/32" = 1'-0"

NO SOLAR EFFECT



C1 BUILDING 1 - EAST - MAY 21 - 12PM
3/32" = 1'-0"

DOES NOT ACHIEVE > 90%



B1 BUILDING 1 - SOUTH - MAY 21 - 12PM
3/32" = 1'-0"

DOES NOT ACHIEVE > 90%



A1 BUILDING 1 - WEST - MAY 21 - 12PM
3/32" = 1'-0"

NO SOLAR EFFECT



D1 BUILDING 1 - NORTH - MAY 21 - 4PM
3/32" = 1'-0"

NO SOLAR EFFECT



C1 BUILDING 1 - EAST - MAY 21 - 4PM
3/32" = 1'-0"

NO SOLAR EFFECT



B1 BUILDING 1 - SOUTH - MAY 21 - 4PM
3/32" = 1'-0"

DOES NOT ACHIEVE > 50%



A1 BUILDING 1 - WEST - MAY 21 - 4PM
3/32" = 1'-0"

DOES NOT ACHIEVE > 50%



D1 BUILDING 1 - NORTH - NOVEMBER 21 - 12PM
3/32" = 1'-0"

NO SOLAR EFFECT



C1 BUILDING 1 - EAST - NOVEMBER 21 - 12PM
3/32" = 1'-0"

ACHIEVES >75%



B1 BUILDING 1 - SOUTH - NOVEMBER 21 - 12PM
3/32" = 1'-0"

ACHIEVES > 75%



A1 BUILDING 1 - WEST - NOVEMBER 21 - 12PM
3/32" = 1'-0"

NO SOLAR EFFECT